

# PLAN OF MANAGEMENT

for

**Part of Reserve 82999 for Public Recreation and Resting Place**

**(TERRACE RESERVE HOLIDAY PARK)**

at

**BRUNSWICK HEADS**



for the

**NSW CROWN HOLIDAY PARKS TRUST**

and



**Trade &  
Investment  
Crown Lands**

April 2014

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for

## **Part of Reserve 82999 for Public Recreation and Resting Place (TERRACE RESERVE HOLIDAY PARK)**

Prepared by

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**April 2014**

## ***A note to the Brunswick Heads local community, businesses, organisations and visitors to the region***

On behalf of the Board of the NSW Crown Holiday Parks Trust and our management team I am pleased to present this Plan of Management for the Terrace Reserve Holiday Park.

In August 2013, the Deputy Premier, the Honourable Andrew Stoner MP announced the appointment of an external Board of Directors to oversee the recently formed NSW Crown Holiday Parks Trust on behalf of the people of NSW.

The Trust was formed to consolidate the operations of twenty six coastal and eight inland holiday parks and reserves located on Crown Land throughout NSW in some of the State's most iconic locations.

Under the Crown Lands Act (1989) (the principal Act governing the administration of Crown Land in NSW) land resources are to be shared equitably in accordance with the principles of environmental protection, conservation and ecological sustainability, public use and enjoyment as well as encouraging multiple use of the land.

The Trust Boards' role is to set the framework and oversee the management of and provide accountability for these holiday and recreational reserves which are enjoyed by hundreds of thousands of domestic and international visitors each year and are an important part of local and regional communities and economies. This role is particularly relevant given the competitive recreational and tourism market and complex regulatory requirements facing holiday parks not only in NSW but also throughout Australia today.

The Board recognises the economic, environmental and social importance of Crown Land to local communities and to the State. It also recognises the ongoing need to improve existing facilities and develop new ones, providing for the sustainability of Crown Land assets for the benefit of the people of NSW – now and into the future.

The Board understands the ongoing use and management of Crown Land is an important issue for local communities. It is committed to ensuring local communities and other stakeholders are well informed about plans for the upgrade of Holiday Parks and public recreation areas in their area which come under the management of the Board.

It is important for local communities to be aware of the need to plan for the sustainability - both economically and environmentally - of that Crown Land.

This Plan of Management for Terrace Reserve Holiday Park outlines the Trust's proposals to ensure the sustainability of the Park in the longer term. Improvements have been designed to provide for the longevity of the Park, for the convenience and comfort of its users and to continue to meet safety and other regulatory requirements, as well as recognising the role of the Park in the local community.

In preparing the Plan, the Board has ensured feedback received from the community and stakeholder groups following the exhibition of a previous Draft Plan of Management in 2010 has been considered.

Some of the key aspects of the Plan of Management include:

- Improving amenity and safety of the Holiday Park for users,
- Providing more car parking within the Holiday Park and less reliance on street parking and increasing the buffer to neighbouring residential properties,
- Providing for continued public access through the Park for pedestrians – both Park users and the community generally,
- Gradually removing permanent residences and structures from the foreshore to improve the visual and physical amenity of the area,
- Undertaking rehabilitation on the foreshore to provide for environmental sustainability,
- Continuing bush regeneration works to support and provide for the longevity of the endangered coastal cypress community,
- Improving traffic management and road design to reduce congestion at the Park entry for the safety of users and the community,
- Provision of facilities and amenities that facilitate equity of access,
- Provision of high quality modern guest facilities and amenities, and
- Inclusion of larger sites to meet market demand and current van sizes

Development and upgrade of the Terrace Reserve Holiday Park as proposed in this Plan of Management will support the ongoing upgrade of public reserves in Brunswick Heads for the benefit and enjoyment of local residents and visitors.

It is the Board's belief that Holiday Parks that are well designed and managed have the best potential to support local economies and communities. Terrace Reserve Holiday Park has been part of the Brunswick Heads community for many decades. However, in order to keep pace with forecast user needs, regulatory and safety requirements and maintain competitive standards it is essential the Park undergoes continuing improvement. The directions outlined in the Plan of Management will underpin the sustainability of the Terrace Reserve Holiday Park into the future. In doing so, it will also ensure the Park is able to provide needed funding for recreation facilities, community infrastructure and environmental projects in local reserves and ultimately provide a continuing sustainable economic and environmental asset for the community, visitors to the region and the people of NSW.

Yours sincerely

*Alan A Revell*

**Chair**  
**NSW Crown Holiday Parks Trust**

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**REFERENCES**  
**GLOSSARY**

**Explanatory Note:**

The drawings contained in and exhibited in association with this Plan of Management are based on a topographic survey of the land undertaken by registered surveyors. A copy of that survey is included at Appendix B of this document. While the bar scales on the drawings can be used to gain an indication of distances on drawings printed from pdf files such copies cannot be relied upon to be “at scale” or in exact proportion to the original drawings. Any person wishing to view drawings “at scale” should do so by accessing the drawings on exhibition at the locations notified by Crown Lands, Department of Trade and Investment and the NSW Crown Holiday Parks Trust.



## 1 PREAMBLE

### 1.1 Introduction

This Plan of Management has been prepared in accordance with the provisions of the *Crown Lands Act 1989* to provide a framework for the future management, use and development of the reserved Crown land known as Terrace Reserve Holiday Park at Brunswick Heads in the Byron Shire. The Crown land covered by the Plan comprises a community resource in a foreshore setting that provides holiday accommodation and recreation opportunities for the enjoyment of the community. The land has a long history of use for camping and caravanning with Byron Shire Council first authorised to collect fees for camping on the land in 1932.

This Plan of Management outlines a management direction for the next 5 to 10 years for the reserved land in accordance with the requirements of the *Crown Lands Act 1989*. The purpose of the Plan of Management is to establish objectives, environmental and management strategies and actions and identify the means the Reserve Trust will employ in the management of the Reserves to meet the needs and expectations of the local and wider community.

### 1.2 Land Status

Terrace Reserve Holiday Park is managed by the NSW Crown Holiday Parks Trust pursuant to the relevant provisions of the *Crown Lands Act 1989*. Terrace Reserve Holiday Park is located in the township of Brunswick Heads in the Byron Local Government Area.

The Holiday Park is bounded by Simpsons Creek on the east, Fingal Street on the north and on the west by Brunswick Terrace, Park Street, the CWA Hall, Booyun Street, Brunswick Heads Public School and the Brunswick Heads Fire Station and Police Station.

The land covered by this Plan of Management is part of Reserve 82999 for Public Recreation and Resting Place. The Reserve has a total area of about 7 hectares. The land covered by this Plan of Management has an area in the order of 4.88 hectares and comprises the following lots;

- Part Lot 416 DP 728666      4.21 hectares;
- Lot 313 in DP 755692      373 m<sup>2</sup>;
- Lot 403 in DP 728637      1,990 m<sup>2</sup>;
- Lot 50 in DP 1169550      4,013 m<sup>2</sup>;
- Lot 1 in DP 1169548      318.2 m<sup>2</sup>.

An Administrator was appointed on the 28<sup>th</sup> July 2006 to manage the Byron Shire Holiday Parks Reserve Trust which had responsibility for the management of Reserve 82999 which includes Terrace Reserve Holiday Park. That Trust was subsequently replaced by the North Coast Accommodation Trust and in May 2013 the NSW Crown Holiday Parks Trust was created and is now responsible for the care control and management of Reserve 82999. The land covered by this Plan of Management is also part of the Byron Coast Regional Crown Reserve 1012196 for

Access, Public Requirements, Rural Services, Tourism Purposes and Environmental and Heritage Conservation notified on 1<sup>st</sup> September 2006.

### 1.3 Brunswick Heads Foreshore Reserves Strategic Plan, 2008

In 2008 the former Department of Lands prepared and endorsed a strategic plan<sup>1</sup> for the foreshores of the Brunswick River and Simpsons Creek at Brunswick Heads. The Plan covered the land shown in Figure 2 and Precinct 5 of the Plan is the Terrace Reserve Holiday Park. The Plan proposes the following actions:

- Determination of the Holiday Park boundaries;
- Preparation of a Plan of Management for the Holiday Park;
- Reconstruction of the seawall and provide for public access along the foreshore;
- Relocation of the holiday park entry to the western boundary;
- Upgrade of park facilities, lighting, landscaping and visual amenity; and
- Implementation of a compliance program for the Park.

A majority of the above actions have been completed. The preparation of this Plan of Management together with the ongoing improvement to the Holiday Park will address the remaining matters.

In conformity with the commitment made in the Brunswick Heads Foreshore Reserves Strategic Plan this Plan has been prepared based on current applicable and relevant statutory requirements. The Plan also documents recent improvements that have been made to the Terrace Reserve Holiday Park and the Brunswick River Foreshore. The Plan of Management addresses the relevant recommendations of the Brunswick Heads Foreshore Reserves Strategy.

### 1.4 North Coast Holiday Parks

North Coast Holiday Parks is the trading name that has been adopted for the management and marketing of a number of caravan parks and reserves on the North Coast of New South Wales. These properties are managed by the NSW Crown Holiday Parks Trust which is a land management corporation established by the Minister for Lands under the provisions of the *Crown Lands Act 1989*.

While a key focus of North Coast Holiday Parks relates to the operation of caravan parks there is a range of wider land management responsibilities which must also be addressed. In this context the operational and administrative framework of North Coast Holiday Parks has been structured to ensure;

- the Crown and the community assets are used in accordance with legislative provisions, policy goals and best practice commercial management;

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<sup>1</sup> *Brunswick Heads Foreshore Reserves Strategic Plan*, Department of Lands, August 2008

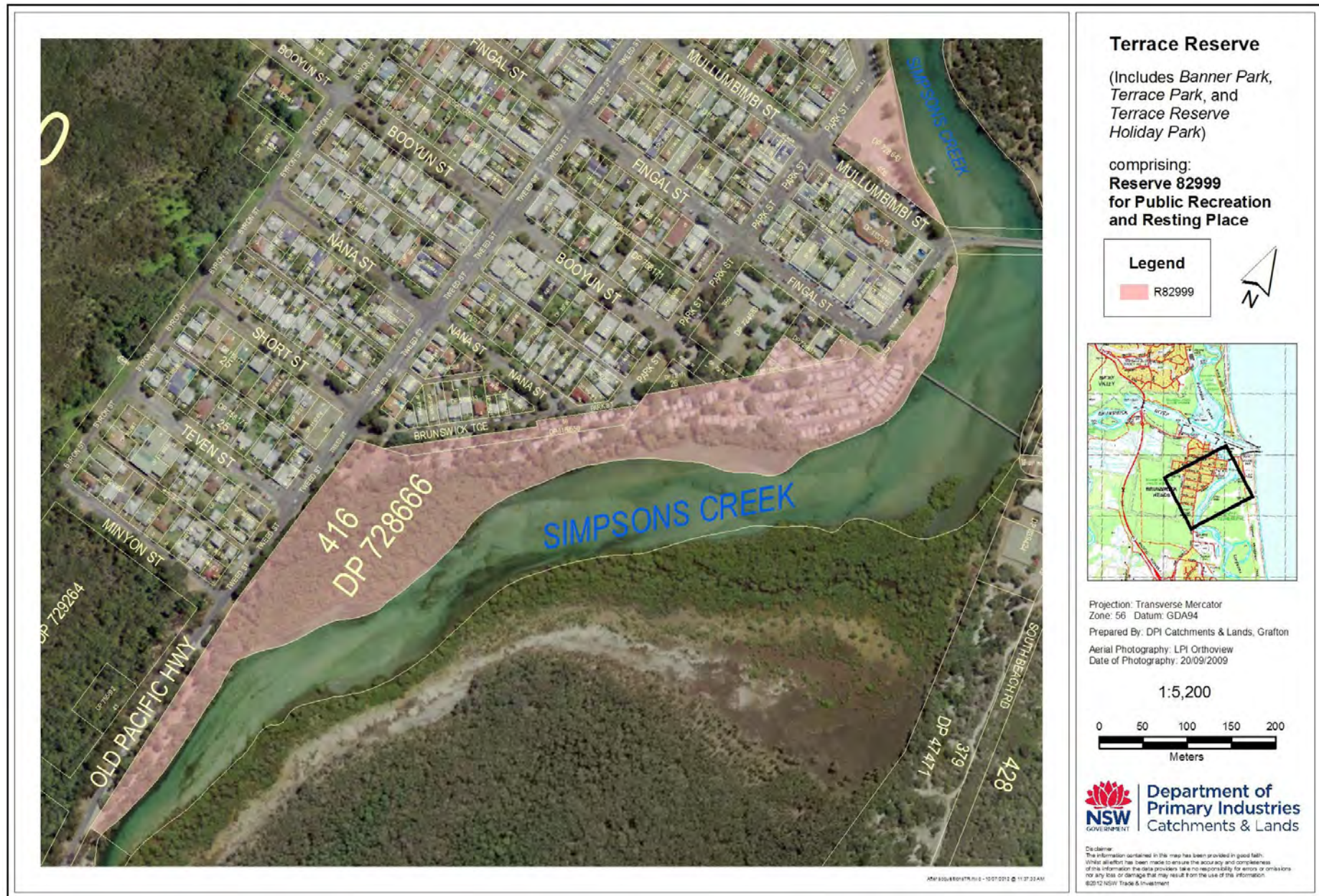


Figure 2 Land Status



**Figure 1** Location of Terrace Reserve Holiday Park, Brunswick Heads (Source: Map 1, Brunswick Heads Foreshore Reserves Strategic Plan, 2008)

- accurate information is available to the government on the performance of the Reserves and the caravan parks;
- financial and human resources are used efficiently;
- environmental impacts are minimised;
- probity is achieved in the operation of the reserves and the caravan parks;
- contractors and employees comply with established policies and procedures including legal requirements with respect to work health and safety, industrial relations, etc;
- the value of the assets of the community and the Crown are safeguarded and enhanced;
- and
- the administration and management of the reserves and the associated commercial activities delivers ecological sustainability, intergenerational equity and identifiable public benefits.

### **1.5 Byron Coast Regional Crown Reserve**

The Byron Coast Regional Crown Reserve comprises Reserve 1012196 for Access & Public Requirements, Rural Services, Tourism Purposes and Environmental and Heritage Conservation and was notified by gazette on 1 September 2006. The Regional Reserve has a total area in the order of 4,825 hectares. The Regional Crown Reserve concept brings together many smaller reserves into an overarching management unit with the aim of developing a more holistic, sustainable and balanced approach which will lead to improvements in the environmental, economic and social fabric of the area.

The Byron Coast Regional Crown Reserve covers a diversity of land types and uses and presents a broad spectrum of values to the community. In general terms it is significant for the following reasons;

- Natural values including tracts of native vegetation, coastal and estuarine features, adjoining nature reserves, key habitat for threatened flora and fauna and wildlife corridors of regional significance;
- Cultural values including Aboriginal heritage sites, historic buildings and structures;
- Long standing social values associated with camping grounds and formalised recreation areas, community centres and clubhouses;
- High recreational values with extensive opportunities for active and passive land-based recreational pursuits as well as access to the coastline, the Pacific Ocean, Brunswick River estuary and various smaller creeks and coastal lagoons for water-based recreation;
- Major tourism values based on the extensive natural attractions, visitor facilities and established tourism infrastructure; and
- Ability to provide quality tourism experiences

The desired management outcomes for Byron Coast Regional Crown Reserve are for the land to be managed in the public interest, with due regard for the regional context and in accordance with best practice.

In due course a Plan of Management under the *Crown Lands Act 1989* will be prepared to determine the management objectives and strategies required to fully realise the public purposes of the Regional Crown Reserve and sustain its values in perpetuity. In the meantime this Plan of Management for the Terrace Reserve Holiday Park will recognise and address the principles that have already been outlined for the Regional Crown Reserve.<sup>2</sup>

## 1.6 Local History

The Aboriginal people of the Minjangbal and Durrungbil tribes were the first inhabitants of the Brunswick Valley. Brunswick Heads was a place of significance for these people and had importance as a ceremonial meeting place. The estuary and the ocean provided a reliable food source.

The first recorded European identification of the Brunswick River was in 1828 when it was charted and named by Captain Rous of the Royal Navy. It was more than 20 years later before cedar cutters began to exploit the rich supply of timber in the area. Originally logs came down the River on rafts, were then dragged through the surf by bullock teams and finally winched onto merchant sailing ships. By the 1880's Brunswick Heads was an established commercial port, however, the difficulties associated with negotiating the bar resulted in a number of ships being wrecked as they endeavoured to enter the River. The Aboriginal people continued to live in the area alongside the cedar cutters and historical records show they assisted with the rescue of sailors from the shipwrecks. The development and opening of the northern railway line through Mullumbimby in the mid 1890's had a significant impact on the settlement as traders chose to use the safer transport option.

The Brunswick River has three arms. The main arm has its source in the hills around Mullumbimby. The North Arm, Marshalls Creek is named after Bob Marshall who was a cedar cutter and publican for the Ocean View Hotel which he opened in 1884 and was the forerunner of today's Hotel Brunswick. The South Arm, Simpsons Creek, was named after Captain Simpson who was a seafarer. For a period around 1865 the settlement was known as Simpson Town. The footbridge across Simpsons Creek was constructed in 1937 and the vehicular bridge further to the north in the 1960's. This opened up vehicular access to beach and the dwellings on the eastern side of the Creek.

By the 1920's the town and the region began to build a reputation as a seaside holiday destination and tourism became an important aspect of the local economy. In the 1940's and 50's Brunswick Heads was among the most popular beach resorts in the region and it was reported that the 1946 Boxing Day crowd numbered 20,000. In the late 1950's a Christmas holiday crowd of 10,000 was accommodated in the caravan parks, motels, guest houses and holiday homes which prompted the Council to allocate £6,000 for the development of a septic scheme for the Massy-Greene and Terrace Reserve Caravan Parks. The camping and caravanning tradition in Brunswick Heads and at Terrace Reserve is a long established feature of the area.

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<sup>2</sup> Byron Coast Regional Crown Reserve, Reserve Profile, Land and Property Management Authority, Crown Lands Division, August 2010

## 1.7 Basis for Management

The management of Reserve 82999 and Reserve 1012196 is to be in accordance with the objects and principles of Crown land management described in Sections 10 and 11 of the *Crown Lands Act 1989* and the land management provisions of Part 5 of the Act. The land will therefore be used and managed in accordance with the following:

- The Plan of Management applying to the land;
- *Crown Lands Act 1989*;
- *Crown Lands (General Reserves) By-law 2006*;
- *Environmental Planning and Assessment Act 1979* and any planning instrument permitting the use of the land for a specified purpose or otherwise regulating the use of the land;
- *Holiday Parks (Long-term Casual Occupation) Act 2002*;
- *Local Government Act 1993*;
- *Residential Parks Act 1998*; and
- The relevant provisions of the *Local Government (Manufactured Home Estates, Caravan Park, Camping Grounds and Moveable Dwellings) Regulation 2005*.

The preparation of this Plan of Management for the Terrace Reserve Holiday Park has included, over a period of time;

- site inspections;
- input from the local community;
- consultation between representatives of the Trust and of Byron Shire Council;
- consultation with North Coast Holiday Parks and the caravan park managers; and
- reviews of relevant Crown Lands reports and policies and Council files, reports and data.

## 1.8 Actions Since 28<sup>th</sup> July 2006

The Minister for Lands appointed an Administrator to take responsibility for care control and management of the Reserves and the Terrace Reserve Holiday Park in 2006. While the layout of the Holiday Park and the number of approved sites has not changed the successive Reserve Trust managers and Crown Lands have undertaken and completed a range of actions and works in the Holiday Park and public open space in Brunswick Heads since that time including:

- Sections of the adjoining road reserves that supported parts of the Holiday Park have been added to the Reserve;
- Resolution of matters where there was a lack of compliance with the relevant regulatory controls;
- Renovations and improvements to public day-use facilities in Banner Park and Terrace Reserve;
- Improvements to lighting along Simpsons Creek;
- Improvements and maintenance to Torakina Reserve;
- Improvements to the sea wall and access points to limit the impact of erosion;

- Construction of a foreshore pedestrian walkway to the Riverfront at Terrace Reserve Holiday Park;
- Improvements to storm water and waste management;
- Improvements to sites and facilities in the Terrace Reserve Holiday Park including a comprehensive renovation of the main communal amenity building; and
- General improvements to the facilities provided to guests.

These initiatives provide a strong basis for the future ongoing improvement of the Holiday Park and the adjoining reserved Crown land.

### **1.9 Public Exhibition of the 2010 Draft Plan, Submissions and Community Forum**

An earlier Draft Plan of Management was placed on public exhibition from 13<sup>th</sup> August to 8<sup>th</sup> October 2010. At the end of the exhibition period approximately 280 submissions were received. These came in the form of written and emailed submissions from organisations and individuals, signed pro-formas which had been distributed at a public rally during the exhibition period and letters and submissions based on the pro-forma.

A further opportunity for input from the community was afforded through a Community Forum on 22<sup>nd</sup> November 2010 convened by the Brunswick Heads Chamber of Commerce. Representatives of 35 Brunswick Heads' community groups met with officers from the former Land and Property Management Authority, the Trust Administrator and Trust employees and two Directors of Integrated Site Design Pty Ltd.

This Plan takes account of relevant issues that were raised in the above submissions and at the Community Forum. A summary of issues and the matters that were addressed in the preparation of this Plan of Management is included at Appendix E.

### **1.10 Public Exhibition of this Plan and Submissions**

The draft version of this Plan of Management for Terrace Reserve Holiday Park (part of Reserve 82999 for Public Recreation and Resting Place) was exhibited for 8 weeks concluding 21 February 2014 in accordance with the requirements of Part 5 of the *Crown Lands Act 1989* and the *Crown Lands Regulation 2006*. The exhibition occurred at the same time as the exhibition of draft Plans of Management for Massy-Greene and Ferry Reserve Holiday Parks, and the Brunswick Heads Public Foreshore Reserves.

Public Information sessions were held on 15<sup>th</sup> January and 1<sup>st</sup> February 2014. The information sessions were aligned with community events to ensure high participation rates. The information sessions were well attended with local media reporting hundreds of people present.

A total of 158 submissions were received in response to the four exhibited Plans of Management. In addition, two petitions were received. One petition was in the form of an on-line petition that attracted 2095 signatures. The second petition contained 156 signatures. The matters raised in the petitions were addressed in the submissions assessment.



There was some duplication of issues across different reserves. It is noted that several issue categories apply to two or more reserves. As each Plan of Management is a stand-alone document, there has been some duplication of issue categories resulting in a total of 206 issues being recorded. The breakdown of issues raised by reserve is provided below, including general issues.

<b>Reserve</b>	<b>Number of Issues</b>
Foreshore Reserves	52
Terrace Reserve Holiday Park	48
Massy-Greene Holiday Park	44
Ferry Reserve Holiday Park	27
General Submissions	35
<b>Total</b>	<b>206</b>

### 1.10.1 Issues Raised in General Submissions

Thirty-five categories of general issues were raised in relation to the Trust's proposals across the draft Plans of Management. Issues raised in more than five submissions are listed below.

<b>Issue Categories – General</b>	<b>Number of Submissions</b>
Comply with Council license conditions and regulations	40
Maintain public access to and along the foreshore	35
Retain 30% of sites for permanent residents	27
No restriction on public access though holiday parks	12
No fencing of holiday parks or reserves	9
Privatisation of foreshore	7
Maintenance and presentation of foreshore reserves	6

In regard to these matters the Plan of Management for Terrace Reserve requires the Trust to;

- Comply with all relevant and applicable legislative requirements;
- Continue to provide public access along the foreshore to enable connectivity between the Holiday Parks, other foreshore reserves and Brunswick Heads;
- Reduce the proportion of long term dwelling sites in Terrace Reserve over time in line with the Policies of the government;
- Restrict public access through the Holiday Park only to the extent required for security and safety;
- Limit the use of fencing to circumstances where other approaches fail to achieve reasonable requirements with respect to security and safety;
- Continue to provide appropriate access to the foreshore; and

- Fulfill all obligations with respect to the management of reserved land under the control of the Trust.

The remaining twenty eight issues were raised in four or fewer submissions and in many cases are otherwise addressed in the Plan of Management for Terrace Reserve or are not applicable. Five recommendations were made with respect to amendments to the Plans of Management with reference to general issues. A more complete summary of the issues is included at Appendix F.

### 1.10.2 Issues Raised in Submissions in relation to Terrace Reserve Holiday Park

Forty-eight categories of issues were raised with specific reference to the Trust's proposals for Terrace Reserve Holiday Park with nine recommendations for amendments with respect to those issues. Issues raised by more than five submissions are listed in the following table.

<b>Issue Categories – Terrace Reserve Holiday Park</b>	<b>Number of Submissions</b>
Provide public access to and along the foreshore at Terrace Reserve	78
Maintain public access to the car park and footbridge at the entry to Terrace Reserve Holiday Park	33
Natural attrition for vacating long term sites at Terrace	29
No fencing of Holiday Parks or Reserves	29
Restore Simpsons Creek foreshore	29
Comply with Council license conditions and regulations	24
Remove structures from Terrace Reserve foreshore sites	22
Demolish and rebuild main amenities in Southern Precinct away from private residences	15
No restriction on public access though Holiday Parks	14
Restrict use of Terrace Southern Precinct to soft camping during Christmas and Easter only	14
Protection of vegetation in Reserves	13
Provide additional parking within Terrace Reserve Holiday Park	10
Provide traffic calming at junction of The Terrace and Nana Street	9
Relocate Terrace Southern Camp Kitchen	9
Soft camping only in Terrace Southern Precinct	8
Locate new relocatable amenities in Terrace Southern precinct further from residences	6
Retain 30% of sites for permanent residents	6
Restrict access for large vans and fifth wheelers	5
Widen the Brunswick Terrace road reserve	5

A majority of the remaining issues were raised in one or two submissions and in many instances refer to matters that to some extent have been addressed in the Plan, eg foreshore access. In other cases there were issues that were beyond the scope of this Plan of Management process. A more complete summary is included at Appendix F and the following section details amendments to the Draft Plan that respond to particular issues.

### 1.11 Amendments to the Draft Plan of Management

A summary of the submissions received during the exhibition period was prepared and reviewed by the Trust Board. The summary was also provided to Crown Lands, Department of Trade and Investment for assessment and review in light of the content of the proposed Plan of Management. At the same time Crown Lands were advised of a number of proposed minor amendments.

Elements of the Draft Plan of Management have been amended where appropriate in response to issues raised during the public exhibition period and pursuant to advice from Crown Lands. Amendments have been made in a way that seeks to ensure the future management of the Reserve and the Holiday Park addresses government policy, legislative requirements, community input and the operational requirements of the Holiday Park. Details of the principal amendments are provided in the following table.

Issue Category	Comment	Recommendation
Convert disused Simpsons Creek Park tennis courts for another public use or re-vegetation	Larger site areas will increase on-site parking for guest's vehicles in conjunction with the reduction in the number of sites from 198 to 167. The removal of 18 sites from the Southern Precinct to remedy a road encroachment will provide capacity for 60 additional public car parking spaces on The Terrace road reserve. The disused tennis courts may be an option for overflow parking, however, other submissions support public recreation / revegetation of this space.	Ensure the Plan of Management authorises use of the disused tennis courts to the south of the Holiday Park for car parking, revegetation and other public recreation uses pending the Trust's future consideration of the most appropriate use/s of this area.
Demolish and rebuild main amenities in the Southern Precinct away from private residences	The existing main amenity is structurally sound and constructed pursuant to a development consent issued by Council in 1995. Replacement in another location would cost in excess of \$500,000. Measures to screen the building and reduce impacts on residents can be included in the Plan of Management.	Include measures to screen the main amenity building in Terrace Reserve Southern Precinct from residents and reduce visual and other impacts.

Formalise existing creek/beach access near site 122	The Plan of Management could authorise investigation of formalising the existing canoe/kayak launching facility near site 122 on Simpsons Creek in conjunction with the foreshore restoration project	The Plan of Management will authorise investigation of formalising the existing canoe/kayak launching facility near site 122 on Simpsons Creek in conjunction with the foreshore restoration project
Locate new relocatable amenities in Terrace Southern Precinct further from residences	The amenities could be relocated to the southern-most part of the Park which would have some visual screening from existing vegetation. The change would result in the net loss of 1-2 sites due to the minimum buffer required between the building and sites, and would require extension of water sewer and power	Locate the new southern relocatable amenities building in the southernmost section of the Holiday Park
Maintain public access to the car park and footbridge at the entry to Terrace Reserve Holiday Park	There will be no change to the current public access to either the footbridge or the adjacent car park. The car park will continue to be part of the Holiday Park provision of visitor parking with no restriction on use by the general public. No changes to this arrangement are proposed. The Plan of Management specifically authorises the use of this area for both public and visitor parking. The Trust is proposing to construct a footpath from the town side of the footbridge past the Terrace Park playground to the crossing at The Terrace. This path will provide a safer alternative route for pedestrians wanting to avoid walking through the car park.	Provide additional emphasis in the Plan of Management document and drawings to clearly indicate the car park is available for parking by the general public and pedestrian access to and from the footbridge.
No fencing of Holiday Parks or Reserves	Measures such as landscaping and continued use of security cameras are proposed to improve security. Access restrictions will only occur if and when it becomes necessary to fence sections of the Holiday Park for safety or security reasons - as a last resort. Continued unfettered access for the general public to Simpsons Creek via the Holiday Park cannot be guaranteed. The Trust could relax restrictions while retaining the ability to impose restrictions if required.	Provide a landscape design to show the intended treatment of the boundary that will be provided in preference to fencing. More clearly describe measures other than fencing that will be implemented in preference to fencing. Specify in the Plan of Management that fencing will only occur as a last resort. Modify the access protocol to relax restrictions and allow public

		access for longer hours throughout the entire year while retaining the ability to apply reasonable restrictions when required.
Object to Proposed Waste Compound at Terrace Reserve	The proposed relocation of the waste storage area will impact guests who have not previously been affected. An alternative location at the rear of the central section of the park adjacent to the primary school bins has been identified that will not impact neighbours.	Investigate relocation of waste storage/collection area to the Central Precinct with access directly from Booyun Street. Retain current waste storage/collection area if Booyun St option cannot be implemented.
Provide public access to and along the foreshore at Terrace Reserve	The Trust has considered the impact creation of a foreshore access corridor would have with regard to Park operations, site constraints, significant vegetation, and long-term residents. The Trust has made provision for ongoing public access through the Holiday Park as currently exists, subject to reasonable conditions. Conditional access through Terrace Reserve Holiday Park and to Simpsons Creek is provided subject to reasonable conditions. Those conditions are likely to be relaxed from those contained in the draft Plan of Management.	Specify in the Plan of Management that fencing will only occur as a last resort. Modify access protocol to relax restrictions and allow public access for longer hours throughout the year while retaining the ability to apply reasonable restrictions if required.
Cultural heritage	Searches of the Aboriginal Heritage Information Management System (AHIMS) did not indicate the presence of Aboriginal objects and sites. However, anecdotal evidence has been presented in submissions and the Plan of Management will be modified to include specific provisions addressing the protection of Aboriginal cultural values and objects.	Modify the Plan of Management to include provisions addressing the protection of Aboriginal cultural values and objects.

Matters related to changes to legislation and policies that have occurred since the Draft Plan was exhibited have also been updated along with typographic and other minor editorial matters.

### 1.12 Management Precincts

Within this Plan of Management the subject reserved land will be described and referenced in terms of five Management Precincts (see Drawing T 01);

- **Foreshore Management and Access Precinct** - will be allocated and managed to preserve the opportunity for public pedestrian access along the foreshore of this section of Simpsons Creek.
- **Foreshore Environmental Management Precinct** – this area generally extends from the limit of the areas within the Reserve that are used for Holiday Park activities and purposes to the eastern boundary of the Reserve. The Precinct includes the intertidal zone, the Simpsons Creek foreshore and supports significant ecological communities. The objective for this part of the Reserve is to protect and restore the significant environmental features and resources of the intertidal zone and the foreshore of Simpsons Creek.
- **Northern Precinct** – supports the Park entry from Fingal Street and a majority of the Parks administration and management facilities. The area supports a range of long term and short term sites and includes 10 cabins which have an outlook over Simpsons Creek. The Precinct will continue to support sites and accommodation for tourists and long term living.
- **Central Precinct** – this part of the Park includes over half the Parks long term residents with many occupying sites with frontage to Simpsons Creek. A key strategic objective will be to reduce the number of unregistrable moveable dwellings on sites with frontage to the foreshore and progressively allocate those sites for tourist use for traditional caravanning and camping. This will also enable the implementation of environmental management and restoration works in the adjoining Precinct
- **Southern Precinct** – this area supports a substantial number of *Callitris columellaris* with the sites used for traditional camping and caravanning. Changes to the boundary of the Reserve in this area will require changes to the road and site layout and a reduction in the number of approved sites.

### 1.13 Purpose of this Plan

The purpose of this Plan of Management is to address the relevant statutory requirements of the *Crown Lands Act 1989* and to establish objectives, strategies and actions and the means the NSW Crown Holiday Parks Trust will employ to achieve the desired outcomes. The most significant issues to be addressed in relation to the ongoing management of the Holiday Park are:

- Resolving the interface between the operational boundaries of the caravan park and the adjoining lands;
- Foreshore restoration and access to the foreshore where appropriate;
- Appropriate provision for public pedestrian access through the Holiday Park;
- Ongoing compliance with the applicable technical standards and relevant provisions of the *Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005*;
- Ensuring principles of environmental and ecological sustainability are incorporated into the development and management practices adopted for the Park;

- Improving equity of access to accommodation and facilities for Holiday Park guests;
- Improving the entry presentation and functionality and the site layout of the Holiday Park;
- Addressing the actions recommended in the Brunswick Heads Foreshore Reserve Strategic Plan where relevant and feasible;
- Foreshore access;
- Maintaining and improving the financial performance of the Holiday Park with particular attention to improving occupancy rates in the shoulder and low seasons;
- Improving environmental and vegetation management;
- Storm water management;
- Security;
- Meeting the needs of guests and residents through the provision of additional and improved facilities;
- Ensuring holders of residential tenancy agreements or occupancy agreements are treated in accordance with the law and in an appropriately transparent manner; and
- Appropriate risk management.

The management actions in this Plan of Management will be formulated to address and achieve the following;

- **Social equity** – decision making that leads to greater physical, cultural and financial access in the delivery of services and facilities;
- **Environmental quality** – using only the resources that are required to deliver facilities and services and improving overall physical amenity while reducing detrimental impacts on natural assets;
- **Economic prosperity** - promoting the development of jobs, business improvement and market growth in a sustainable manner; and
- **Corporate governance** – managing assets and resources in a way that is accountable, transparent, responsive, efficient and equitable and complies with all applicable legislation.

## 2 STATUTORY AND POLICY FRAMEWORK

### 2.1 Introduction

This Plan of Management has been prepared in accordance with the *Crown Lands Act 1989*, to provide a framework for the future management and improvement of the Terrace Reserve Holiday Park. Other legislation including environmental planning policies, guidelines and strategies also require consideration especially where any new development proposals are contemplated.

### 2.2 Crown Lands Act 1989

The objects and principles of Crown land management are listed in Sections 10 and 11 of the *Crown Lands Act 1989* and form the starting point for the preparation of Plans of Management. The principles of Crown land management are that;

- Environmental protection principles be observed in relation to the management and administration of Crown land;
- The natural resources of Crown land (including water, soil, flora, fauna and scenic quality) be conserved wherever possible;
- Public use and enjoyment of appropriate Crown land be encouraged;
- Where appropriate, multiple use of Crown land be encouraged;
- Where appropriate, Crown land should be used and managed in such a way that both the land and its resources are sustained in perpetuity; and
- Crown land be occupied, used, sold, leased, licensed or otherwise dealt with in the best interests of the State consistent with the above principles.

The Act and existing policy for the management of Crown land has always encouraged the appropriate commercial use of reserved Crown land. Commercial activity can meet the needs of public users of a reserve as well as generate the financial means to manage and improve the Crown Reserve system generally. A specific requirement of the Act is the proceeds of commercial activities on reserved Crown land are to be spent on the management of reserved Crown land.

Part 5 of the Act deals with the management of Reserves and matters related to the appointment and responsibilities of Reserve Trusts. The purpose of establishing reserve trusts is to allow reserved Crown land and potentially other land (Crown and freehold) to be managed - to varying degrees of independence from the Crown Lands Division - but subject to Ministerial direction. "Reserve" is a term for an area of land set aside for a public purpose in the sense used in Part 5 of the Act. A reserve trust can manage an unlimited number of reserves or parts of reserves. The affairs of a reserve trust can be controlled by any one of the following;

- The Minister;
- A board of Trustees (up to seven) plus any number of ex officio appointments;
- A corporation (including a Council); or
- An administrator.



Reserve trusts have a statutory responsibility to manage land in the public interest and to achieve the Principles and Objects of Crown Land Management as defined by the Act. The focus of a reserve trust's activities in relation to land under its control is generally defined by the public purpose(s) of the reservation. Where a Plan of Management has been adopted by the Minister for Lands the trust is required to implement the actions described in the Plan. In the absence of a Plan of Management the detail of how a reserve is developed and used is a matter for the trust provided always its actions are in conformity with the relevant requirements of the Act. Money generated from commercial activities on the reserve must be spent on the management or development of the reserve although the Minister may direct that money is applied for the improvement of other reserves.

### 2.3 Crown Lands (General Reserves) By-law 2006

The Terrace Reserve is listed in Schedule 1 of the *Crown Lands (General Reserves) By-law 2006*. This By-law covers general administrative management and the use of reserves generally. Importantly, the By-law gives the trust board of the reserve the statutory basis to determine the use of parts of the reserve, set fees and charges, control the entry of vehicles and people, and to control the conduct of persons on the reserve.

### 2.4 Environmental Planning and Assessment Act 1979

The *Environmental Planning and Assessment Act 1979 (EP&A Act)* provides the statutory basis for the development consent process in New South Wales. Section 79C of Part 4 of the *EP&A Act* outlines the factors that must be must considered when a Development Application is assessed.

The *EP&A Act* has a range of other provisions that may take effect depending upon the nature of a development proposal and the issues that may be encountered.

### 2.5 Local Government Act 1993

While the *Local Government Act 1993 (LG Act)* contains many provisions that have an impact on the management of the Reserve there is one aspect of particular importance: the approval requirements for the operation of caravan parks that flow from Section 68 of the Act. Section 68 of the Act requires the owner or manager of a caravan park to seek an approval from Council to operate a caravan park and, in certain circumstances, the prior approval for the installation of moveable dwellings. Council may impose conditions on the operation and structure of a caravan park. The Section 68 Approval to Operate for the Terrace Reserve Holiday Park provides for the following numbers and categories of sites;

Site Types	Number
Long term	34*
Short term	117
Campsite	48
<b>Total Sites</b>	<b>199</b>

\*31 sites actually occupied by long term residents

When Ordinance 71 was introduced in 1986 as part of a Statewide licensing system of caravan parks and camping grounds Terrace Reserve Holiday Park was an “existing” caravan park and as a result aspects of the existing development were affected by Clause 108, Exemptions. This clause listed a range of provisions in the Ordinance that would not apply to existing parks. Matters covered by Clause 108 in relation to Terrace Reserve include exemptions in relation to required setbacks of sites from land boundaries and road frontages, internal road widths and provision of visitor parking. The provisions of Clause 108 and the exemptions relevant to Terrace Reserve have been preserved by the savings provisions in subsequent iterations of the Regulation.

The current Section 68 Approval to Operate Terrace Reserve Holiday Park commenced on 10<sup>th</sup> May 2013 and will expire on 9<sup>th</sup> May 2014. A copy of the Approval is included at Appendix A.

## **2.6 Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005**

The technical standards for the development and operation of caravan parks are defined in the *Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005*. The Regulation addresses technical requirements with respect to site types, setbacks, site coverage, road dimensions, parking, provision of amenities and the like.

Clause 74 of this Regulation provides that the prior approval of a council is not required for the installation of a relocatable home or an associated structure on a dwelling site within a caravan park so long as it is designed and constructed in accordance with the requirements of the regulations. This exemption is modified by sub clauses 6 and 7 which deal with installation on flood-liable land and moveable dwellings of more than one storey.

## **2.7 Residential (Land Lease) Communities Act 2013**

The *Residential Parks Act 1998* was developed by the Government to ensure the rights of permanent park residents and obligations of park owners were clearly defined and appropriate processes and procedures were implemented which recognised these rights.

The Government has replaced the *Residential Parks Act 1998* with a new Act, including a new name, which responds better to the needs of both home owners and operators. The *Residential (Land Lease) Communities Act 2013* was passed by both houses of the parliament on 14<sup>th</sup> November 2013. The Act provides appropriate protections for home owners while recognising the needs of operators to develop and sustain efficient and effective business operations. Key reforms include:

- new rules of conduct for operators and sanctions for non-compliance;
- mandatory education for all new operators;
- a community-based approach to dealing with increases in site fees;
- improved processes for making, amending and enforcing community rules;
- new arrangements for disclosure of information to prospective home owners; and
- new rules to clarify and streamline the process for owners selling their home on site.

## **2.8 The Holiday Parks (Long-Term Casual Occupation) Act 2002**

The *Holiday Parks (Long-term Casual Occupation) Act 2002* and the associated Regulations set out the rights and obligations of long-term occupants of moveable dwellings in caravan parks in New South Wales. The Act recognises that while the occupant has a right to occupy a site there is no interest in the land. In essence, the Act provides for an occupation agreement, which runs for at least 12 months, between the manager of a caravan park and the owner of a moveable dwelling for the use of a site for tourist purposes.

Some of the principal issues addressed by the Act include:

- Information that a park owner must provide prospective occupants;
- The form and content of agreements;
- What happens at the end of an agreement;
- Occupation fees and charges;
- The formation and amendment of Park Rules;
- Dispute resolution mechanisms and the role of the Consumer, Trader and Tenancy Tribunal constituted by the Consumer, Trade and Tenancy Tribunal Act 2001;
- The fate of abandoned goods (i.e. moveable dwelling) and sites.

The former Department of Lands introduced an Information Sheet on the creation of occupation agreements and which provides policy guidance on the principles to be followed. The State Government Policy states that agreements for sites on reserved Crown land must be limited to no more than 12 months. The Trust will administer the holiday van occupancy agreements in accordance with the Act and under the prevailing Crown Lands policies and guidelines.

## **2.9 Relevant Environmental Planning Policies and Instruments**

### **2.9.1 State Environmental Planning Policy No 14 - Coastal Wetlands**

This policy is based on the mapping of lands considered to constitute environmentally sensitive areas that support coastal wetlands. The aim of the policy is to establish development control measures to ensure the appropriate protection of the lands designated on the mapping. Under the provisions of the Policy a person must not clear land, construct a levee, drain land or fill land which is covered by the SEPP except with the consent of the local council and the concurrence of the Director-General of Planning. A copy of development applications for such activities must also be forwarded by the local council to the Director of National Parks and Wildlife within 7 days of receipt by the Council. Activities and works on SEPP 14 wetlands which require development consent are deemed to be designated development. This means the development application must be accompanied by an environmental impact statement and be placed on public exhibition. The impact statement must match requirements set out by the Director General of Planning.

Works involving restoration of SEPP 14 wetlands are not to be carried out unless the consent of the local council and the concurrence of the Director-General of Planning have been obtained. In

practice consent authorities generally require some form of setback or buffer from defined wetlands.

### **2.9.2 State Environmental Planning Policy No 21 – Caravan Parks**

In 1986 the Government made changes to the prevailing legislation to allow both short-term and long-term accommodation to occur in caravan parks by way of moveable dwellings. This brought about a wider definition for caravan parks.

*State Environmental Planning Policy No 21 – Caravan Parks (SEPP 21)* was prepared to ensure this wider meaning applied to all relevant planning instruments whether existing or proposed. In essence *SEPP 21* states that where caravan parks are a permissible land use they will take on this wider meaning.

In addition, the Policy makes development consent mandatory for all new caravan park proposals regardless of local instruments. Council's are also required to have regard to the impact of new long and/or short-term dwelling sites on residential and tourism land uses and operations in the local area.

A key element of the Policy is found in Clause 8, sub-clause (4A). The clause removes the effect of any other environmental planning instrument and the need for a development application with respect to the installation of moveable dwellings on land approved for use as a caravan park.

### **2.9.3 State Environmental Planning Policy No 71 – Coastal Protection**

*State Environmental Planning Policy No 71 – Coastal Protection (SEPP 71)* was introduced in October 2002 as part of the NSW Government's Coastal Protection Package. *SEPP 71* applies to the coastal zone of the State as defined in the *Coastal Protection Act 1979*. The Policy gives statutory force to some of the elements of the NSW Coastal Policy 1997 and makes the Minister for Planning the consent authority for certain developments. The Policy also defines a category of *sensitive coastal locations*. Finally, the Policy identifies master plan requirements for certain developments in the coastal zone.

While the policy primarily comes under consideration when a development application is submitted for determination the objectives and general principles established in the *SEPP* should be recognised as relevant to any coastal planning exercise. The objectives of *SEPP 71* are:

- a) *to protect and manage the natural, cultural, recreational and economic attributes of the New South Wales Coast, and*
- b) *to protect and improve existing public access to and along coastal foreshores to the extent that this is compatible with the natural attributes of the coastal foreshore, and*
- c) *to ensure that new opportunities for public access to and along coastal foreshores are identified and realised to the extent that this is compatible with the natural attributes of the coastal foreshore, and*
- d) *to protect and preserve Aboriginal cultural heritage and Aboriginal places, values, customs, beliefs and traditional knowledge, and*

- e) to ensure that the visual amenity of the coast is protected, and
- f) to protect and preserve beach environments and beach amenity, and
- g) to protect and preserve native coastal vegetation, and
- h) to protect and preserve the marine environments of New South Wales, and
- i) to protect and preserve rock platforms, and
- j) to manage the coastal zone in accordance with the principles of ecologically sustainable development (within the meaning of section 6(2) of the Protection of the Environment Administration Act 1991), and
- k) to ensure that the type, bulk, scale and size of development is appropriate for the location and protects and improves the natural scenic qualities of the surrounding area, and
- l) to encourage a strategic approach to coastal management.

Clause 8 of the Policy establishes a list of the matters that a consent authority must take into consideration in assessing developments in the coastal zone.

#### **2.9.4 State Environmental Planning Policy (Major Development) 2005 and State Environmental Planning Policy (State and Regional Development) 2011**

*State Environmental Planning Policy (Major Development) 2005* commenced on 29<sup>th</sup> July 2005 and underwent a substantial revision which came into effect on 1<sup>st</sup> July 2009. Further amendments were made in 2011. The purpose of the Policy was to identify projects to which the development assessment requirements under Part 3A of the *EP&A Act* should apply and to set out the functions of Regional Planning Panels in determining specified development applications.

The changes which occurred in 2011 relate to the removal of Part 3A from the *EP&A Act* and consequently the *SEPP Major Development* now only contains some basic transitional provisions related to that previous regime. *State Environmental Planning Policy State and Regional Development (SRD) 2011* commenced when Part 3A of the Act was repealed.

Among other things this Policy establishes what types of development constitute State Significant Development, State Significant Infrastructure as well as Regional Development (in conjunction with Schedule 4A of the *EP&A Act*). A review of the Policy highlights that for tourist caravan park development to be classified as State Significant Development the site must be classified as a “sensitive coastal location”, the capital investment value of the work must be \$10 million or more and the facility must be considered to be a tourist related facility which is other than a “commercial premises”.

The capital investment value for a project has been determined to be the cost of establishment of the facility. In the case of a caravan park development this value excludes components such as cabins. The facility comprises the creation of the infrastructure which includes the short term dwelling sites and all services but cabin accommodation is viewed as ‘discretionary spending’ because the sites can be used with or without the cabins.

It is also possible proposed development work could constitute Regional Development. This occurs by way of Schedule 4A of the *EP&A Act* coupled with the provisions of the *SEPP*. The

Schedule indicates that development with a capital investment value of more than \$20 million is classified as Regional Development and is determined by a Joint Regional Planning Panel. Similarly, a Crown Development (a particular type of development) having a capital investment value of more than \$5 million is classified as Regional Development and is determined by a Joint Regional Planning Panel.

The improvement program proposed as part of this Plan of Management for the Terrace Reserve Holiday Park does not fall within the various provisions of the *SEPP State and Regional Development* outlined above.

### **2.9.5 State Environmental Planning Policy (Infrastructure) 2007**

*State Environmental Planning Policy (Infrastructure) 2007 (SEPP Infrastructure)* provides that certain types of works do not require development consent under Part 4 of the *EP&A Act*. However, it does not prevail over *SEPP 14 – Coastal Wetlands*, *SEPP 26 – Littoral Rainforests* or *SEPP State and Regional Development* where there are inconsistencies. Further, *SEPP Infrastructure* does not remove the requirement to obtain consent from the Minister in relation to State Significant Development.

Clause 20 of *SEPP Infrastructure* provides that a range of works are “exempt development” when carried out on behalf of a public authority. These works are itemised in Schedule 1 of the *SEPP* and include paths and ramps for disabled access, fencing, small decks, prefabricated sheds of up to 30 m<sup>2</sup> in area, retaining walls up to 2m in height, landscaping including paving and access tracks, minor external and internal alterations to buildings, open car parks (size is not specified) and demolition of buildings covering an area of up to 100m<sup>2</sup>.

Clause 65 (2) (d) of the Policy provides that in respect of land reserved within the meaning of the *Crown Lands Act 1989*, development can be carried out without consent by or on behalf of the Director-General of the Land and Property Management Authority, a trustee of the reserve or the Ministerial Land Corporation, or an administrator of the reserve if the development is for purposes of implementing a plan of management adopted for the land. It should be noted that where this occurs, a review of environmental factors (REF) under Part 5 of the Act is usually undertaken. Pursuant to the provisions of Clause 66(2) a number of additional works may be undertaken as exempt development on a Crown reserve where a plan of management has been adopted. Clearly the provisions of this *SEPP* are relevant to the future implementation of this Plan of Management as well as to the Trust’s ongoing management of the reserved land.

### **2.9.6 Byron Local Environment Plan 1988**

Terrace Reserve Holiday Park is subject to the zoning provisions of the *Byron Local Environmental Plan (LEP) 1988*. The land-use zone for Reserve 91536 is the 6(a)(Open Space Zone).

#### ***Zone No 6 (a) (Open Space Zone)***

##### ***1 Objectives of zone***

*The objectives are:*

- (a) to ensure that there is adequate provision of both active and passive open space to serve the present and future recreational needs of residents and visitors,
- (b) to identify land where existing recreation facilities for the general use of the community are provided,
- (c) to provide opportunities to enhance the total environmental quality of the Shire of Byron,
- (d) to encourage plans of management for Crown Lands as required by the [Local Government Act 1993](#).

**2 Without development**

*Works for the purposes of landscaping and bushfire hazard reduction.*

**3 Only with development consent**

*Agriculture (other than animal establishments); child care centres; cycleways; drainage; environmental facilities; markets; primitive camping grounds; recreation areas; restaurants; roads; recreation vehicle areas; showgrounds; utility installations.*

**4 Prohibited**

*Any purpose other than a purpose specified in item 2 or 3.*

While “caravan park” is not currently a permissible land use in the 6(a) zone modifications and improvements to the caravan park can be undertaken under the existing use provisions of the Environmental Planning and Assessment Act, 1979 as well as pursuant to the provisions of *SEPP Infrastructure 2007*.

### 2.9.7 Draft Byron Local Environmental Plan 2013

Council recently completed the preparation of *Draft Byron Local Environmental Plan 2013* to conform to the State Government's Standard Instrument. The new planning instrument has been formulated to guide future development and planning in the local government and was on public exhibition until 24 December 2012. The land-use zone information reproduced below is taken from the Draft LEP.

Under the provisions of the new LEP the land on which the Terrace Reserve Holiday Park is situated is proposed to be in the RE1 Public Recreation zone.

**Zone RE1 Public Recreation**

**1 Objectives of zone**

- *To enable land to be used for public open space or recreational purposes.*
- *To provide a range of recreational settings and activities and compatible land uses.*
- *To protect and enhance the natural environment for recreational purposes.*

**2. Permitted without consent**

*Environmental protection works*

**3. Permitted with consent**

*Boat launching ramps; Boat sheds; Camping grounds; Caravan parks; Child care centres; Community facilities; Emergency services facilities; Entertainment facilities; Environmental facilities; Flood mitigation works; Function centres; Horticulture; Information and education facilities; Jetties;*

*Kiosks; Markets; Recreation areas; Recreation facilities (indoor); Recreation facilities (major); Recreation facilities (outdoor); Respite day care centres; Restaurants or cafes; Roads; Signage.*

#### **4. Prohibited**

*Any development not specified in item 2 or 3*

The part of Reserve to the east of the land developed and managed as part of the Holiday Park is proposed to be W1 Waterway Zone. The only activities that would be contemplated in this part of the Reserve would be for the purposes of “*environmental protection works, environmental facilities or flood mitigation works.*”

### **Zone W1 Natural Waterways**

#### **1 Objectives of zone**

- *To protect the ecological and scenic values of natural waterways.*
- *To prevent development that would have an adverse effect on the natural values of waterways in this zone.*
- *To provide for sustainable fishing industries and recreational fishing.*

#### **2 Permitted without consent**

*Environmental protection works.*

#### **3 Permitted with consent**

*Boat sheds; Boat building and repair facilities; Boat launching ramps; Business identification signs; Charter & tourism boating facilities; Environmental facilities; Flood mitigation works; Jetties; Moorings; Mooring pens; Water recreation structures; Wharf or boating facilities.*

#### **4 Prohibited**

*Business premises; Hotel or motel accommodation; Industries; Multi dwelling housing; Recreation facilities (major); Residential flat buildings; Restricted premises; Retail premises; Seniors housing; Service stations; Warehouse or distribution centres; Any other development not specified in item 2 or 3.*

Flood risk mapping produced and published as part of the Draft Byron Local Environmental Plan 2013 indicates a substantial proportion of the Terrace Reserve Holiday Park is within a flood planning area.

## **2.10 Policies, Plans and Guidelines**

The following policies and guidelines are relevant to the implementation of this Plan of Management. It is expected that the management of the Reserve will review policies and guidelines as they are updated or changed and will modify operational and development activities accordingly.

### **2.10.1 NSW Coastal Policy 1997**

The *NSW Coastal Policy 1997* was released by the New South Wales Government to replace the *1990 Coastal Policy*. The stated purpose of the Policy is:



*The main challenge for the Government and the community in the coastal zone is to provide for population growth and economic development without putting the natural, cultural and heritage values of the coastal environment at risk. In recognition of this challenge, the Coastal Policy incorporates the principles of ecologically sustainable development (ESD) into coastal planning. ESD aims to ensure that development occurs in such a way that the ecological processes on which life depends are maintained.<sup>3</sup>*

The definition of the coastal zone takes in areas within one kilometre of the ocean, as well as an area of one kilometre around coastal lakes, lagoons, islands, estuaries and rivers. The Policy is described as integrative based on the principles of ecologically sustainable development and,

- Conservation of biological diversity and ecological integrity;
- Intergenerational equity;
- Improved valuation, pricing and incentive mechanisms; and
- The precautionary principle.

The Policy sets out a hierarchy of goals, objectives and strategic actions which include an emphasis on improving water quality and maintaining public access to the coastline.

The Coastal Policy proposes a range of management planning approaches including catchment management plans are implemented in consultation with relevant agencies to ensure sustainable development and use of natural resources occurs in harmony with the protection of the environment. A Plan of Management under the *Crown Lands Act 1989* is one of the most valuable management tools available to implement the Policy.

### **2.10.2 Sea Level Rise**

In September 2012 the NSW Government made a number of significant changes to the way in which the planning and development on the coast is managed. As part of the reform package the *2009 NSW Sea Level Rise Policy Statement* was withdrawn with a view to providing greater flexibility in considering local conditions in the determination of future hazards and preparing coastal management plans. The key components of the first stage of the NSW Government's coastal reforms have;

- Removed the recommendations in regard to statewide sea level rise benchmarks;
- Given support to local councils in the determination and adoption of projections with specific relevance to the local conditions;
- Provided clarity with respect to the preparation and issue of Section 149 planning certificates; and
- Made it more straightforward for landholders to install temporary works to reduce the impacts of erosion.

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<sup>3</sup> Coastal Policy, A sustainable future of the NSW Coast - Fact Sheet, 1997

Byron Shire Council has developed a range of policies and programs that allow for ecologically sustainable growth in coastal areas while addressing the risk to life and property from coastal hazards and flooding. This Plan of Management will provide a planning framework for the next five to ten years and it is anticipated that as the accuracy of sea level rise projections improve over time the Plan may need to be reviewed. Most of the existing infrastructure of the Holiday Park has a short to medium term design life and new development will be engineered to meet requirements of relevant planning and regulatory controls with respect to coastal development.

### **2.10.3 NSW Floodplain Development Manual, April 2005**

The primary objective of the *NSW Government's Flood Prone Land Policy* is to reduce the impact of flooding and flood liability on individual owners and occupiers of flood prone property, and to reduce private and public losses resulting from floods. At the same time, the policy recognises the benefits flowing from the use, occupation and development of flood prone land. The policy promotes the use of a merit approach which balances social, economic, environmental and flood risk parameters to determine whether particular development or use of the floodplain is appropriate and sustainable.

This approach is aimed at avoiding the unnecessary sterilisation of flood prone land. Equally it ensures flood prone land is not the subject of uncontrolled development that is inconsistent with the exposure of the land to flooding. The policy highlights that primary responsibility for floodplain risk management rests with local councils, which are provided with financial and technical support by the State Government. The *Floodplain Development Manual* accords with the *NSW Government's Flood Prone Land Policy*.

The provisions in the Manual guide councils in the development and implementation of detailed local floodplain risk management plans to produce effective floodplain risk management outcomes. The Manual also outlines the technical assistance provided by the State Government throughout the floodplain risk management process. The Manual is concerned with the consequences of flooding as they relate to the human occupation of the floodplain for both urban development and agricultural production. It addresses flood risk in full recognition that management decisions taken in respect of the human occupation of the floodplain need to satisfy the social and economic needs of the community as well as being compatible with the maintenance or enhancement of the natural ecosystems that floodplains sustain.<sup>4</sup>

### **2.10.4 Crown Lands Caravan Park Policy**

In April 1990 the former Department of Lands issued the Crown Lands Caravan Parks Policy. The primary impetus for the creation of the Policy was to address issues of long-term residency, the numbers of holiday vans and to improve the appearance and management of caravan parks. The Policy establishes policies, objectives and strategies relevant to the future management and development of caravan parks on Crown land in NSW.

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<sup>4</sup> Foreword, Floodplain Development Manual, NSW Government, 2005

The objectives of the Crown Lands Caravan Parks Policy are:

- a. *to develop a caravan park and camping ground system on Crown land which meets the needs of the community and provides a range of facilities for short-term use, long term use and camping.*
- b. *to manage caravan parks on Crown land in an environmentally acceptable manner, to provide for the protection of important scenic, natural and cultural resources consistent with the objects and principles of the Crown Lands Act, 1989.*
- c. *to ensure that caravan parks and camping grounds on Crown land are managed in a way that provides appropriately for the recreational and social needs of the community.*
- d. *to encourage the entrepreneurial management of caravan parks on Crown lands in order to provide the community with an appropriate standard of facility and the government with an optimum financial return for the land it provides.*

It is clear, particularly from objective (d) above, that the intent of the Crown Land Caravan Parks Policy is that there will be a commercial orientation in the management of Crown caravan parks. However, this objective is one of a set of objectives of equal weight and therefore matters of environmental and community need must be addressed alongside financial considerations. The Policy requires that no more than 50% of the short term and long term sites in “Holiday Parks” on Crown reserves be used to accommodate long term residents and holiday vans. Recent discussions with Crown Lands have confirmed the government’s current policy position, however, there are sound business reasons for lower proportions of holiday vans to release prime sites for year round tourist use.

The policy for caravan parks on reserved Crown land is being reviewed by Crown Lands, Department of Trade and Investment. Recent assessment of the operation of caravan parks on Crown land has concluded little has changed in relation to the validity of the principles that shaped the 1990 policy, however, two further issues have emerged which are seen as adding weight to the position the Crown has consistently held;

1. Since 1990 the number of approved caravan parks in New South Wales has declined by around 10% with a similar reduction in the number of available approved sites; and
2. Demand for tourist sites in caravan parks has steadily increased.

The Reserve Trust will need to address the requirements of the revised policy when it is finalised and adopted by Crown Lands.

### **2.10.5 Cape Byron Marine Park Zoning Plan**

All tidal areas of the Brunswick River and Marshalls and Simpsons Creeks lie within the Cape Byron Marine Park. The Brunswick River is within a Habitat Protection Zone which allows for the following activities;

- most forms of recreational fishing and bait collection;
- recreational boating, scuba diving/snorkelling; and

- other activities may be allowed with a marine parks permit (eg. Commercial tourism, events, minor works etc)

### **2.10.6 Coastal Zone Management Plan for the Brunswick Estuary, Issue 4 August 2012**

The Northern Rivers Catchment Action Plan 2013-2023 published by the Catchment Management Authority (Northern Rivers) identifies the Brunswick River as a major river basin which is a significant natural feature of the Northern Rivers Region.

The Brunswick Estuary comprises the tidal reaches of the Brunswick River, Kings Creek, Marshalls Creek and Simpsons Creek which together drain a catchment of approximately 228 km<sup>2</sup> with a waterway area of about 2.2 km<sup>2</sup>. The primary objective of the Estuary Management Plan is to develop a range of management strategies for maintaining and improving estuary condition and function. Based on consultation with key authorities and stakeholders and outcomes from land use and estuary use assessments the highest ranked objectives for the Brunswick Estuary are to;

- Improve water quality;
- Improve estuary ecological health and biodiversity;
- Conserve Aboriginal and heritage sites;
- Determine sustainable tourism; and
- Control and manage development.

The plan also points to a lack of facilities to service the passive and active recreation of the estuary such as insufficient parking, lack of boat/craft launching facilities and improvements to foreshore access. Specific mention is made of the problems associated with past development, such as encroachment into the riparian buffer zone with Terrace Reserve Holiday Park cited as an example. The actions listed in Table ES.1 and Section 5 of the report, that have some relevance to Terrace Reserve Holiday Park include:

- Item P3: Require developments in the locality of the Cape Byron Marine Park that have the potential to impact on the Park, to undertake appropriate environmental assessment.
- Item P6: Council planners to ensure that the revised LEP and DCP limits tourist accommodation to small scale, small hostels and to specify development guidelines relating to scale and location etc;
- Item P13: Prepare Plans of Management for Massy-Greene and Terrace Caravan Parks;
- Item B2: Repair reaches of failing rock wall along Simpsons Creek upstream and downstream of the road bridge(repairs have been undertaken); and
- Incorporate any remaining vacant foreshore Crown land into a formal public land management regime and prepare Plans of Management for all Crown lands within an integrated estuary/foreshore reserves system. (Item P11).

### 2.10.7 Byron Shire Council 2009, Byron Shire Tourism Management Plan 2008 to 2018

The Byron Shire Tourism Management Plan provides a strategic and integrated framework to guide the management, development and marketing of tourism for Byron Shire. The plan recognises the significance of the tourism industry to the local economy and the need to balance the impact of such activities with other commercial, social and environmental objectives.

The plan endorses continued engagement and discussion with the State government regarding plans to develop the Brunswick Heads foreshore as well as the development of plans of management for Crown lands and for infrastructure development and maintenance.

### 2.10.8 North Coast Destination Network (2013), North Coast of NSW Destination Management Planning

The North Coast Destination Management Plan seeks to provide the North Coast of NSW with a roadmap to achieve the NSW government's tourism target of doubling overnight visitor expenditure by 2020. The purpose of the North Coast Destination Network will work collaboratively across the regions to ensure stakeholders can benefit from shared tourism objectives. The Network can support local tourism associations to manage issues relating to brand, image, communication, social media & the positioning for market opportunities.

### 2.10.9 Byron Shire Bike Strategy and Action Plan (Bike Plan) 2008

The Byron Shire Bike Strategy and Action Plan (Bike Plan) 2008 provides a synthesis of various studies and proposals for an access plan to provide integrated pedestrian pathways and bikeways throughout Byron Shire. The Plan references the following achievements and proposals for Brunswick Heads. On completion the Strategy and Action Plan will provide important connections between The Terrace, Terrace Reserve and Ferry Reserve Holiday Parks.

<b>Coastline Cycleway</b>	
<b>Achievements</b>	<ul style="list-style-type: none"> <li>• Southern Pacific Highway interchange to the Bowling Club. Shared pathway/bike track.</li> <li>• Tweed Street. Bicycle lanes on both sides of Tweed Street.</li> <li>• Terrace Reserve Holiday Park to Brunswick Valley Way at the Northern Pacific Highway Interchange. Shared pathway/bike track.</li> </ul>
<b>Proposals</b>	<ul style="list-style-type: none"> <li>• Through Venture Park from Torakina car park to Surf Club. Shared pathway and bikeway.</li> <li>• Tweed Street via the Terrace to Park Street and to the southern side of Fingal Street to Banner Park. Shared pathway/bike track.</li> </ul>

Given the existing and proposed provision of pathway/cycleways through Brunswick Heads this Plan of Management contains provisions for pedestrian links to these facilities. Consideration will also be given to the provision of racks for cyclists at key intersections of pathways and tracks.

### 2.10.10 Brunswick Heads Chamber of Commerce 2011, Brunswick Heads Community Economic Transition Plan “Taking Care of Brunswick” 2011 – 2016

The Brunswick Heads Community Economic Transition Plan is a five year strategy for the township of Brunswick Heads, developed by the community of Brunswick Heads with the assistance of NSW Trade and Investment. The plan lays out the relevant social and economic issues and sets out a vision and strategic priorities. The areas of major focus are ageing and disability, youth, arts and culture, the built and natural environment, food, transport, housing, disaster management and the local economy including tourism.

With respect the Built Environment, the Natural Environment and the Local Economy & Tourism the plan presents the following objectives;

Focus Area	Objective
Built Environment	<ol style="list-style-type: none"> <li>1. To improve streetscaping and the visual amenity of the town.</li> <li>2. To improve the condition and amenity of the town’s public reserves and community buildings so that people of all ages and abilities can use and enjoy them.</li> <li>3. Improve and extend pedestrian and cycle pathways connecting the town and the foreshore, and surrounding villages.</li> </ol>
Natural Environment	<ol style="list-style-type: none"> <li>1. To preserve and enhance the natural environment while seeking a balance between conservation &amp; recreational use.</li> </ol>
Local Economy & Tourism	<ol style="list-style-type: none"> <li>1. To sustain an innovative, viable and prosperous business sector.</li> <li>2. To ensure the viability of the tourism industry in Brunswick Heads.</li> </ol>

The strategies identified for tourism include “to ensure the sustainability of the existing tourist accommodation mix” and to “retain the caravan parks as low key/affordable holiday accommodation”.

The ‘Taking Care of Brunswick’ Tourism Management Strategy identifies the ‘Simple Pleasures’ brand as a way to convey the unique characteristics of the township, as a basis for the development of tourism services and activities and as a means of attracting like-minded tourists to the town. As a result the Simple Pleasures Marketing Strategy identifies requirements to successfully promote the brand. The Marketing Strategy aligns the ‘Simple Pleasures’ brand with community objectives and projects to support the marketing focus. With the input of a number of community groups and stakeholders, the strategy outlines:

- The aims of the ‘Simple Pleasures’ campaign;
- The key components of the campaign;
- Logo and image development;
- Merchandise specifications;
- Website development;
- Marketing and branding opportunities;
- Evaluation of strategy effectiveness; and
- Marketing Program/Project Analysis to assess ongoing requirements and to ensure its sustainability.

The future direction for the management and improvement of Terrace Reserve Holiday Park will, where appropriate, address the strategies and directions outlined in the Transition Plan.

#### **2.10.11 The Brunswick Heads Experience – a ten year partnership 2000-2010**

This document was published in 2010 by the Brunswick Heads Chamber of Commerce and NSW Industry and Investment. The publication outlines initiatives that have been taken over the past 10 years in fulfilment of the Chamber’s vision which is “to foster a dynamic local business sector, encouraging sustainable and innovative business development in line with the community’s vision for Brunswick Heads”. Key outcomes described on page 9 of the document that are particularly relevant to the preparation of this Plan of Management are;

1. “Increased visitation and revenue from key target market segments that match our community needs.
2. Enhanced visitor experience and length of stay by;
  - establishing Brunswick Heads as an affordable base from which to explore the surrounding area
  - improving visitor amenities
  - establishing a visitor centre
  - offering incentives to stay longer.
3. Extension of the peak tourism season and evening out peaks and troughs by:
  - strategic scheduling of festivals and events and campaigns
  - working co-operatively with the North Coast Holiday Parks to improve winter visitation.
4. A supportive community which welcomes visitors.”

#### **2.10.12 Brunswick Heads Tourism Management Strategy 2005**

The requirement for a tourism strategy came out of the development of the “Taking Care of Brunswick” Strategic Plan 2004 – 2009. The purpose of the Tourism Management Strategy, developed by the Brunswick Heads Chamber of Commerce Business and Tourism Group, was to identify guiding principles and a framework for developing tourism to steer the town’s economic development. In some respects the strategy grew from a motivation to protect the town from what was perceived to be a lack of control of management of tourism development in Byron Bay.

The primary objective of the Tourism Management Strategy is to preserve the low key village atmosphere and quality of life for residents of Brunswick Heads using a sustainable tourism approach. The approach combines elements of physical and community planning in a way which aims to ensure development is equitable, minimises resource depletion and environmental degradation and limits the negative social effects of tourism. The approach also aims to ensure a quality experience for the visitor in a manner which ensures local needs are also met. The strategy covers six key areas:

- 1 Natural Environment Sustainable Management. Focusses on protecting the natural environment by supporting low impact activities on the foreshore, dunal, river systems and beach. Providing education and monitoring of appropriate use.
- 2 Culture and lifestyle preservation and promotion.
- 3 Communication. Identifying the need to develop marketing tools and improvement of coordination and management of communication between community stakeholders.
- 4 Land use planning and infrastructure. Recognising the need to improve the presentation of the streetscape and open spaces, improve visitor information and experience and provide access ways for wheelchairs.
- 5 Marketing. Implement a multifaceted approach to promoting the 'Simple Pleasures' brand which identifies the town's key point of difference from other coastal towns and is consistent with the objectives and values of the township.
- 6 Economic prosperity and sustainability. Identifies the need to support new and existing tourism activities in a sustainable manner in order to stimulate employment opportunities in the town.

The Strategy suggests that with the assistance of Southern Cross University a number of Studies and Audits be undertaken. These will consider issues such as the provision of tourist accommodation, activities and attractions, the tourist market, the socio-economic impact of tourism on social infrastructure and environmental effects of tourism.

### **2.10.13 Brunswick Heads Foreshore Reserves Strategic Plan, 2008**

The Brunswick Heads Foreshore Reserves Strategic Plan was endorsed by the former Department of Lands in August 2008. The purpose of the Plan is to identify opportunities and actions required to revitalise and improve the quality of the Brunswick Heads Foreshore and to maximise its public use and enjoyment. The genesis of the initiative was recognition by government land management agencies and the community that the existing public land on the foreshore and in the vicinity of Brunswick Heads was under stress and in danger of significant degradation. The problems identified included:

- Lack of adequate public access to and along the foreshore;
- The condition of facilities;
- The condition of the foreshore as expressed in bank erosion, the condition of seawalls, encroachments and damage to mangroves;
- Illegal camping and antisocial activities; and
- Potential impacts from flooding, tidal inundation and sea level rise.

A very important aspect of the Foreshore Reserves Strategic Plan is it provides a set of specific management principles to ensure uniformity of treatment and management of the Crown land within the study area. The Plan identifies opportunities for additional tourist facilities to provide an income source for improvements and ongoing maintenance of the Holiday Parks and the public reserve areas. A key recommendation is for Plans of Management to be prepared for the Massy-Greene Holiday Park and the Terrace Reserve Holiday Park (following the resolution of boundary issues) with an emphasis on:



- Increasing the focus on holiday/tourism provision;
- Developing a unique/niche for each holiday park;
- Operating the holiday parks within the principles of economic, environmental and social sustainability; and
- Improving public access to and along the foreshore.

With respect to Terrace Reserve Holiday Park and the public open space to the south of the Holiday Park the Foreshore Reserves Strategic Plan recommends the following actions;

### **1. General**

Prepare a Plan of Management for Terrace Reserve Holiday Park to guide future improvements and enhance and consolidate the provision of tourist sites, amenities and facilities throughout the holiday park as appropriate to meet future demand.

- Remove exotic weed species, replace with appropriate alternatives and provide additional landscaping throughout the holiday park to improve general amenity;
- Minimise disturbance to native vegetation when considering new developments and improvements throughout the holiday park;
- Ensure an appropriate zoning is applied to the holiday park in the new Byron Shire LEP;
- Implement a programme to ensure all sites, structures and facilities within the holiday park comply with relevant standards; and
- Convert long term sites to tourist sites as opportunities allow.

### **3. Park Entry**

- Undertake a 'road closure' process for part of Fingal Street road reserve to include the existing entry within the holiday park; and
- Provide a separate public footpath access to the existing footbridge away from the car park and holiday park entry.

### **4. Simpsons Creek Foreshore**

- Implement measures to achieve a 10m setback to structures and a 5m public access corridor, from the top of the bank, along Simpsons Creek where possible.
- Review the current arrangement of sites along the banks of Simpsons Creek, and consider options to replace existing caravan sites overlooking the creek.
- Relocate long term sites away from the banks of the creek as opportunities allow to other locations within the park.
- Undertake repairs to the seawall and shoreline as outlined in the Geolink Study 2007.

### **5. The Terrace**

- Undertake a 'road closure' process for part of the road reserve along The Terrace to include amenities building and internal access road within the holiday park.
- Provide parking and a shared pathway along The Terrace, avoiding established trees, to meet parking needs in this area.

Wherever relevant and feasible this Plan of Management will address the actions recommended in the Brunswick Heads Foreshore Reserves Strategic Plan.

### **2.11 Other Statutory and Policy Documents**

There are a number of other documents that are relevant to the ongoing management of the reserve that have been considered in the preparation of this Plan including;

- Byron Biodiversity Conservation Strategy, 2004;
- Brunswick Heads Settlement Strategy, 2002;
- Brunswick Heads Caravan Parks – Shoreline Remediation Report, 2007;
- NSW Estuary Management Program;
- *Disability (Access to Premises - Buildings) Standards 2010*; and
- *Disability Discrimination Act 1992*.

### **2.12 Summary**

The management, operation and improvement of the Terrace Reserve Holiday Park must take account of a range of statutory controls and policies. It is a fundamental requirement of this Plan of Management that the Reserve Trust Manager will comply with the requirements of applicable legislation, regulations, approvals and policies.

### 3 EXISTING SITUATION

#### 3.1 Existing Development – see Survey Plan at Appendix B and Drawings at Appendix D.

The Terrace Reserve Holiday Park is located on the bank of Simpsons Creek which is part of the Brunswick River Estuary, to the south of the Brunswick Heads Town Centre. The main entrance to the Park is off Fingal Street with a secondary entrance and exit off Nana Street. At the entrance to the Park is a footbridge which provides pedestrian access to the surf beach.

The Holiday Park provides accommodation for tourists and long-term residents and has a total of 199 approved sites. The sites and accommodation for tourist use include 12 self contained cabins, 90 short-term powered sites and 48 camp sites. The Park currently accommodates 31 long term residents and 15 holiday vans.

The AAAT rating is 4 stars for both the Park and the cabin accommodation.

All services are available to the Park although the condition and location of parts of the reticulation systems within the Park are not well documented. The Park roads are generally narrow and vehicular movement, particularly for larger vans and recreational vehicles, is difficult especially during peak visitation periods.

The main amenities block in the northern section of the Park and the central amenities block in the same area are over 30 years old, not in a sound structural condition and will require replacement within five years. The amenity block that services the southern part of the Park is of more modern construction but will require renovation during the life of this Plan of Management. The ten self contained cabins near the entry to the Park and close to the Simpsons Creek foreshore have high occupancy rates and provide attractive family accommodation. There are modest barbecue facilities at the northern and the southern end of the Park with three smaller barbecue shelters servicing other parts of the Park.

The revenue and profit outcomes for the Terrace Reserve Holiday Park have grown significantly over the past five years. However, the rate of income growth will decline if action is not taken to maintain and improve the value of Park's assets, address site servicing and design issues, expand and improve the Park's accommodation stock and provide a wider range of facilities for guests. High standards of maintenance and management are also required to ensure the protection and preservation of the environmental attributes of the Reserve.

In a broader context Terrace Reserve Holiday Park is one of three Parks in Brunswick Heads managed by the NSW Crown Holiday Parks Trust. At present the day to day management of the Parks operates on the basis of three separate contract management agreements. The relatively close geographic location of the properties may provide an opportunity to consider a more integrated day to day management structure with the capacity for key resources to be shared with a view to achieving operational and financial efficiencies.

### 3.2 Vegetation – Terrace Reserve Holiday Park

The protection and management of vegetation in the Holiday Park and on adjoining reserved Crown land is guided and informed by two site specific documents which are the source of the descriptions and information provided in this section;

- Vegetation Management Plan for Terrace Reserve Holiday Park; and
- Vegetation and Threatened Species Assessment Report for Terrace Reserve Holiday Park.

The Holiday Park is located on riparian land over a sandy soil structure with the predominant species being *Melaleuca quinquenervia*, *Eucalyptus robusta*, *Ficus obliqua*, *Ficus rubiginosa*, *Ficus macrophylla*, *Cupaniopsis anacardioides* and *Callitris columellaris*. The site contains relatively high species diversity and the vegetation is generally in reasonable condition despite the intensive caravan park activity over a number of decades. The vegetation cover provides the Holiday Park with a unique character and contributes to the physical comfort of patrons by providing shade.

The foreshore along Simpsons Creek forms the entire eastern boundary of the Holiday Park. The **Foreshore Environmental Management Precinct** contains a significant stand of Grey Mangrove and requires specific ongoing management to maintain, conserve and re-establish vegetation within the Park and in the intertidal zone. In the past the mangrove community has been impacted as a result of unauthorized tree removal but the Trust has implemented ongoing strategies with respect to this issue which does require careful management.

The **Northern Precinct** has been cleared of most native vegetation and is at slightly lower elevation than the central and southern precincts. The area is mostly given over to short-term powered sites, holiday cabins, and infrastructure including roads, amenities blocks and the Park office, manager's residence and a garage. It also contains some large Figs that may have been planted as well as some other native and introduced trees and exotic shrubberies.

The **Central Precinct** is less intensively developed and retains some native trees including Coastal Cypress. It contains long-term residents and short-term van sites.

The **Southern Precinct**, south of about Nana Street, retains good stands of mature Coastal Cypress. It contains mostly unpowered sites used for short-term caravan and tent camping.

The Grey Mangrove is confined to the intertidal zone. In the Reserve the largest stand occurs on estuarine inter-barrier deposits to the south of the Holiday Park and elsewhere in the Reserve it is confined to the Foreshore Environmental Management Precinct. Mangroves are highly productive environments that support an abundant but not particularly diverse assemblage of invertebrate fauna including crustaceans, molluscs and insects. This makes the mangroves an important feeding area for vertebrate animals, particularly fish and waterbirds. The community is within the vegetation class Mangrove Swamp (Keith 2004). The Biometric Vegetation Type is 'Mangrove - Grey Mangrove low closed forest of the NSW Coastal Bioregions'. The community is mapped (Byron LES 2008) as Grey Mangrove/River Mangrove Forest & Woodland provides habitat elements for the following threatened fauna species: Osprey, Collared Kingfisher, Black Bittern,

Beach Stone Curlew, Black-necked Stork, Mangrove Honeyeater, Greater Broad-nosed Bat, Little Bent-wing Bat. The New South Wales Department of Primary Industries is responsible for the management of fish and marine vegetation, including mangroves, under the *Fisheries Management Act 1994*. Any development or activity that may harm mangroves must be referred to the Department for approval.

*Callitris columellaris* is a significant species. The community is classified as the vegetation class Coastal Dune Dry Sclerophyll Forest (Keith 2004) and meets the criteria for the Endangered Ecological Community 'Coastal Cypress Pine Forest in the NSW North Coast Bioregion' (Scientific Committee 2008) under the provisions of the *TSC Act*. Most of the community in the reserve is mapped as 'Cypress Pine' (Byron LES 2008) but in the southern parts of the Reserve it is mapped as 'Forest Red Gum', presumably as a response to the presence of Forest Red Gum and because Coast Cypress had not been listed as an EEC at the time mapping was undertaken. The community provides habitat elements for the Osprey, Koala, Eastern Tube-nosed Bat, Grey-headed Flying Fox, Greater Broad-nosed Bat and Little Bent-wing Bat. The understorey provides potential habitat for the threatened flora species *Cryptocarya foetida* which is recorded from within 1km of the Reserve and is common in the locality.

A primary objective for vegetation management at the Terrace Reserve Holiday Park is the maintenance of the health and long-term viability of the vegetation. One concern has been the presence of environmental weeds at the site including umbrella trees, madeira vine and numerous other under storey weed species. The Trust has implemented measures to control and remove such species with an integrated strategy to address the environmental weed problem.

Regular, comprehensive arboricultural assessments are undertaken by the Trust to ensure the health of the vegetation is maintained and that risk management issues are addressed. The assessment and vegetation management program includes include pruning, aeration, fertilizing, watering regimes, pest, disease and wound treatments and removals where necessary. Particular attention is given to the maintenance of the health of the *Ficus* and *Callitris* species.

Vegetation management within the Reserves and Holiday Park will continue to be undertaken in accordance with Council's Tree Preservation Order and the Native Vegetation Act, informed by the Vegetation Management Plan appended to this Plan of Management. The Trust will continue to undertake seed collection, compensatory planting and bush regeneration activities to offset any impact from the removal or lopping of native vegetation that is authorised to address a safety issue.

### 3.3 Strategic Assessment

The following assessment of Terrace Reserve Holiday Park summarises the main issues that require consideration. It has been used to assist in identifying actions and priorities required to ensure the commercial viability of the caravan park, to address key compliance and operational issues and to ensure ecological impacts that may be associated with the operation of the Park are adequately addressed. The following points have not been ranked and hence do not provide an indication of an order of priority.

## Strengths

- Location - immediate proximity to the Brunswick Heads Town Centre (cafes, retail facilities and the Brunswick Hotel), Brunswick River, the surf and the Pacific Highway;
- Brunswick Heads is a recognised tourist and holiday destination;
- The Holiday Park has an established clientele with high levels of return visitation;
- Strong established cash-flow;
- Existing cabins provide affordable family accommodation and have high year round occupancy rates;
- The Park offers a variety of site types (both unpowered and powered);
- The Holiday Park is part of a larger group of Parks and benefits from the management, administration and marketing resources of the NSW Crown Holiday Parks Trust.

## Weaknesses

- The Park entrance is congested with no stacking area for arrivals and no arrival or departure lay by areas for guest vehicles;
- Principal internal roads are narrow and internal traffic patterns can be challenging for guests towing larger caravans and recreational vehicles;
- Parts of the development are located on adjoining lots and road reservations that will not be available following the adoption of this Plan of Management;
- The number and location of long term residents and holiday vans restricts opportunities for change to parts of the Park;
- Age and condition of two of the existing amenity blocks;
- A proportion of the boundaries of the Park are not well defined with fencing not always on the boundary line. Pedestrians are free to walk virtually anywhere within the Park;
- Security for guests and management is poor;
- The reception area is poorly presented and the back office area and other ground floor space in the existing residence/office is not effectively used;
- Storage and maintenance facilities are inadequate;
- Lack of basic guest facilities such as a camp kitchen;
- Parts of the Southern Precinct are subject to minor inundation in high rainfall events;
- At peak occupancy some guests park vehicles outside the Holiday Park;
- The Park's cabin stock does not fully address the requirements of some key market groups – couples, people with disabilities and larger families; and
- Storage facilities are inadequate;

## Opportunities

- The presentation, configuration and functionality of the entry and parts of the internal road layout can be improved;
- Development of facilities for guests including a camp kitchen;
- Upgrade the presentation functionality of the Park office and reception area;
- Improve pedestrian access to the foreshore;
- Protection of the Park through the on-going maintenance and improvement of the Simpsons Creek foreshore; and
- Implementation of strategies on marketing and promotion to expand the Park's market penetration;

- Installation of additional cabins including designs that specifically address the requirements of key target markets and current requirements for disabled access;
- Continue to increase off season occupancy rates and length of stay;
- Existing vegetation in and around the Park can be supplemented with planting of endemic native species; and
- Implementation of strategies on marketing and promotion that are directly linked to the Brunswick “Simple Pleasures” theme.

### Constraints

- Environmental hazards – especially flooding, tidal inundation, bank erosion and predicted impacts of climate change and sea level rise;
- Vegetation management requirements;
- The configuration of the entry and parts of the internal road layout can be improved;
- Age and condition of some buildings and infrastructure;
- Consumer and community resistance to change; and
- Ongoing costs of improvements will be significant if the Holiday Park is to consolidate its existing market share as well as capture new clients.

### 3.4 Tourist Economy in NSW

**NSW 2021** is the Government’s 10-year plan to rebuild the economy, provide quality services, renovate infrastructure, restore government accountability and strengthen our local environment and communities. Among the priorities for action in NSW 2021 tourism is identified as having a high potential for growth, with a key goal being **‘to increase tourism in NSW with double the overnight visitor expenditure by 2020’**.

The recently released Visitor Economy Action Plan<sup>5</sup> outlines a number of key priority actions required to enable the achievement of the goal. A number of immediate actions outlined in the plan are pertinent to the supply of tourist accommodation and other visitor economy related facilities on Crown land. These include improving planning processes to encourage quality and appropriate accommodation on Crown land in locations of high natural amenity (Action 35D) and identifying and releasing land for visitor economy purposes (Action 6C).

The Plan also advocates implementation of Destination Management Planning to enable a coordinated approach to addressing demand and supply, policy and planning issues including infrastructure requirements and the role of Crown land within the identified zones (Action 18A).

In this context the Reserve Trust has a responsibility to respond to tourism demand and to be aware of the dynamic character of the tourist marketplace in the State and in the region.

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<sup>5</sup> Visitor Economy Action Plan, Visitor Economy Taskforce, DestinationNSW, June 2012

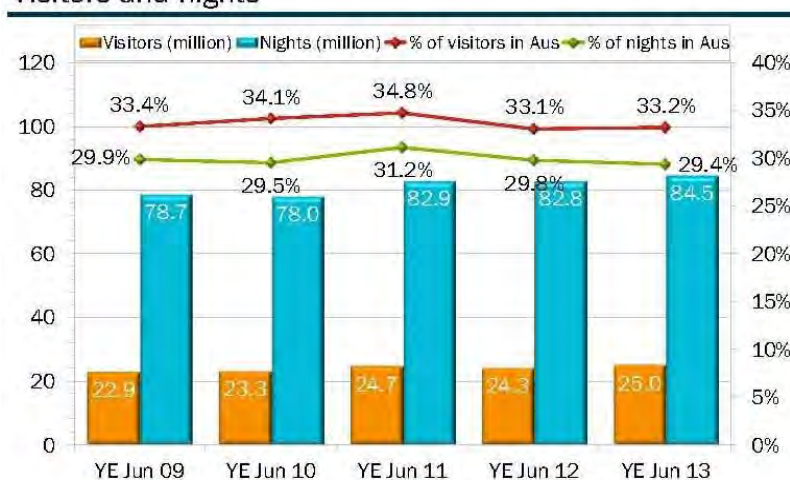
### 3.5 NSW Tourism

Tourism's contribution to Australia's Gross Domestic Product (GDP) has reached \$87.3 billion or 5.9% of total GDP with average annual growth in the order of 4.6%. Total travel in New South Wales for the year ending June 2013 produced expenditure in the order of \$26.7 billion dollars. Total expenditure in relation to domestic overnight travel in New South Wales for the same period resulted in expenditure of \$14.5 billion which was an increase of 4.9% when compared to the previous twelve month period.

The visitor economy supply chain generates added economic multipliers, which means every dollar spent on tourism generates an additional 90 cents in other parts of the economy. At 1.9 tourism's multiplier is greater than mining(1.6) and retail trade(1.7).<sup>6</sup> Of all Australian states, NSW continues to attract the highest number of domestic overnight visitors maintaining 33.2% of national market share and receiving 25 million domestic overnight visitors in the year to June 2013.

As the table below shows, visitors spent 84.5 million nights in the state. When compared to 2012, visitor nights increased by 0.8% and visitor numbers increased by 2.4%. Over half expenditure by domestic overnight visitors (62%) occurs in regional areas of NSW and contributes \$8.7 billion to regional communities across the state.

Visitors and nights



### 3.6 North Coast Tourism

In the twelve months to June 2013, regional NSW hosted 17.9 million domestic overnight visitors who spent 63.4 million nights in regional areas. These figures represent increases of 4.2% and 4.6% respectively in comparison to the period to June 2012.<sup>7 8</sup>

<sup>6</sup> Tourism's contribution to the Australian economy, 1997-98 to 2011-12, Tourism Research Australia, July 2013

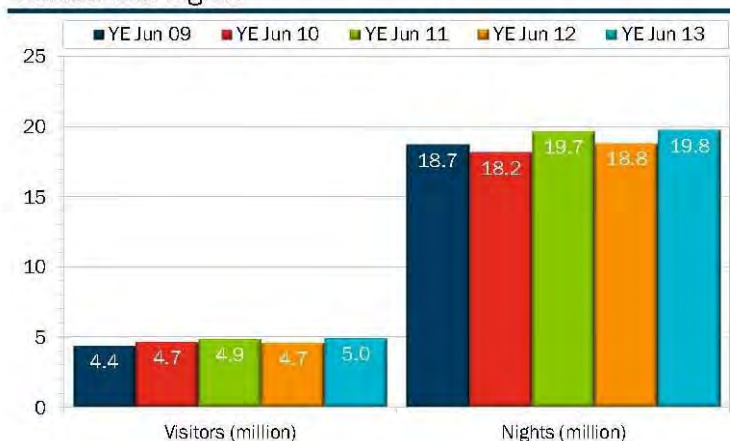
<sup>7</sup> Travel to NSW, Year ended June 2013, DestinationNSW

<sup>8</sup> Travel to Regional NSW, Year ended June 2013, DestinationNSW



The North Coast tourism region of NSW extends from Tweed Heads in the north to the Port Stephens local government area in the south. In the twelve months to June 2013 the region received 5 million domestic overnight visitors, up by 7.2%.<sup>9</sup> Visitors spent 19.8 million nights in the region, staying on average 4 nights per trip. Expenditure by domestic overnight visitors to the North Coast region directly contributes \$2.8 billion to the region’s local economy.

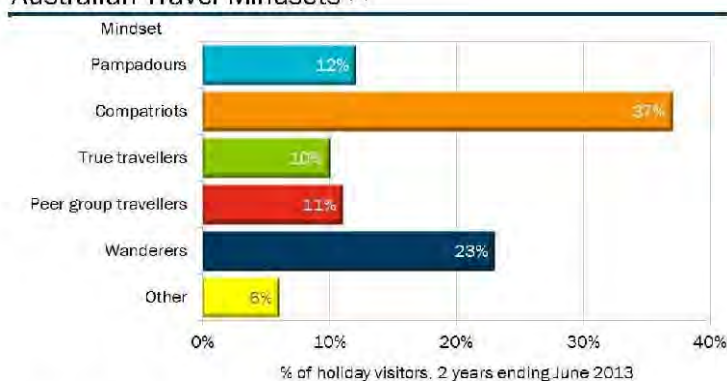
Visitors and nights



Caravan Parks and commercial camping grounds are a popular choice on the North Coast of NSW with domestic visitors spending almost 4.6 million nights in caravan parks or commercial camping ground accommodation in the twelve months to June 2013. Given the active and passive recreational opportunities offered within the region it is not surprising that over 60% of domestic overnight visitors to the region travel for holiday or leisure purposes. A further 30.7% of domestic travel to the region is to visit friends and family. Together these groups account for over 90% of the region’s domestic overnight visitor market.

The travel mindset of domestic visitors is also an important consideration when establishing the types of accommodation and recreational facilities appropriate for the visitors to the region (see graph below). The ‘compatriots’, comprising mostly of families, account for 37% of the domestic overnight visitors to the region, followed by the wanderers (23%) who are characterised by taking time out to explore and discover.

Australian Travel Mindsets (2)



*Pampadours - want luxury; Compatriots - mostly families; True travellers - want depth of experience; Peer group travellers - seeking a fun experience with friends; and Wanderers - taking time to explore and discover.*

(2) Source: Inside Story, 2YE Jun 13

<sup>9</sup> Travel to North Coast NSW, Year ended June 2013, DestinationNSW

### 3.7 Local Tourism

Visitors from regional communities in New South Wales and from Sydney account for almost 70% of domestic overnight visitors to the Byron Local Government Area with 65.7% of all visitors to the Byron Shire travelling for the purpose of a holiday. 24.8% of domestic visitor nights are spent in caravan parks or commercial camping grounds. This is around double the state average which stands at 12.4% and underlines the significance of the Brundswick Holiday Parks in the context of the local tourist economy. Over 60% of visitors are in age groups below 45 years which means the tourist clientele is also younger than the average for the State. A significant proportion of visitors are families(33.7%) but with high representation of younger singles (26.8%) and couples with no children (14.1%).<sup>10</sup>

### 3.8 Caravan Parks on Crown Land

In New South Wales there are approximately 900 caravan parks, camping grounds and primitive camping grounds of which about 30% are on Crown land managed by the Crown Lands Division of the Department of Trade and Investment. Caravan parks on Crown land supply a disproportionately large component of the available sites for tourists in New South Wales and occupy some of the State's premium tourist accommodation locations. Over the past 20 years the number of caravan parks in New South Wales has declined by about 10%. In coastal areas there can be development pressure on existing caravan parks on freehold land. In many instances the strategic value of the land has increased resulting in re-zoning and re-development for residential or other forms of commercial or tourist land-use.

The number of tourist sites in the remaining caravan parks is also decreasing. Most parks were originally developed in the 1960's and 1970's. The design parameters from that time are no longer appropriate for many contemporary vans, 5<sup>th</sup> wheelers, motor-homes, cabins or even large tents. As a consequence the redesign and improvement of caravan parks to meet current and future consumer expectation can result in reductions in the total number of sites in any given park. At the same time there has been significant growth in the caravan, camper trailer, campervan and motor-home marketplace.

The provisions of the *Crown Lands Act 1989* establish objects and principles which require Crown land to be managed for the benefit of the entire community. Reserved land is specifically set aside for the ongoing benefit of the people of New South Wales. As a consequence the development operation and management of caravan parks on Crown reserves must recognise that imperative. In this context there is a responsibility on the part of Reserve Trust Managers to optimise the supply of sites and accommodation for tourist use.

### 3.9 Holiday Vans

Holiday vans are those owned by individuals and families which, under agreement, may be located in the Holiday Park for the payment of an annual fee. The owner of a Holiday Van is entitled to a

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<sup>10</sup> Travel to Byron Local Government Area, 4 years to September 2011, DestinationNSW

maximum of 180 days use in any 12 month period, with the Park Managers able to issue three (3) months notice at any time for the Van to be removed. The tenure arrangements for holiday vans are subject to the provisions of the *Holiday Parks (Long Term Casual Occupation) Act 2002*.

At Terrace Reserve there are currently 13 prime tourist sites allocated to holiday vans. The proportion of holiday vans conforms to the requirements of the Crown Lands Caravan Parks Policy. However, Terrace Reserve Holiday Park occupies a significant Crown reserve which has been set aside for the enjoyment of the community. The characteristics of the land and its location are such that every site in this Park is a “prime tourist sites”. This is confirmed by the demand for sites and accommodation in the Park by tourists throughout the year. In these circumstances a sound business argument in support of holiday van occupancy as an essential income source for the Park cannot be sustained. In recognition of the values associated with this Reserve, whenever a holiday van site is vacated or relinquished in the future, that site will be made available for tourist use.

### **3.10 Brunswick Heads Holiday Parks – Local Context**

The Brunswick Heads Holiday Parks form an important component of the local economy which relies on tourism for a substantial proportion of local business activity. North Coast Holiday Parks provides strong support for local tourism initiatives through representation of the Brunswick Heads Chamber of Commerce and Tourism Group, sponsorship of some local tourism events and promotion of local tourism events through the Holiday Park newsletters.

In 2012/13 tourists spent in excess of 148,000 visitor nights in the three Brunswick Heads Holiday Parks managed by the NSW Crown Holiday Parks Trust. Based on DestinationNSW statistics that visitation represented spending in the order of up to \$21m in the region. Clearly the Holiday Parks are a very significant component of the local and regional tourism industry. Consequently it is essential high standards are maintained in relation to the quality of accommodation, facilities and management.

As well as generating visitation to and business activity in Brunswick Heads the Holiday Parks provide local employment through 7 full-time and 17 casual positions. The Holiday Parks also contribute to the local economy through their dealings with local contractors and suppliers.

In addition to financing the operation, management and improvement of the Holiday Parks profits have contributed toward;

- an annual contribution to Byron Shire Council for the management of Crown reserves in the local government area;
- an annual 5% levy on gross turnover to the Public Reserves Management Fund;
- an annual 5% dividend on gross turnover to contribute to broader management initiatives for reserved Crown land; and
- management and improvement of local Crown reserves including Banner Park, Terrace Park and Torakina Reserve.

A key consideration in the improvement and future management of the Holiday Parks is the establishment of an integrated business strategy that will make a beneficial contribution to Brunswick Heads and the wider community. The Parks share many common attributes. For example, all three enjoy water frontage and are less than a 5 minute drive from the Pacific Highway. This means the Parks are well positioned to provide a base for visitors who wish to day-trip and explore the area. Byron Bay is a short drive south with numerous recognised surf beaches to both the north and south and National Parks and hinterland towns such as Bangalow to the west. The Parks' proximity to the Pacific Highway is particularly attractive to mature travelers looking for a short coastal holiday away from the busier larger towns. On the other hand each Park has distinctive characteristics which create the possibility for development of specific market targets and promotional strategies within an integrated business framework.

Therefore the improvement program and accommodation mix for each Park will be designed to spring from the approaches that have already been successful while addressing opportunities for further growth. This will consolidate a capacity for the Parks to satisfy the needs of a wider range of clients and thereby increase market penetration and the economic contribution of tourism to Brunswick Heads.

The integrated improvement, management and promotion of the Holiday Parks will also be structured to achieve the key outcomes sought by the Brunswick Heads Chamber of Commerce and the Simple Pleasures Marketing Strategy. In particular "Extension of the peak tourism season and evening out peaks and troughs"<sup>11</sup> will be achieved by developing a distinctive character for each Park and supplying a mix of sites, cabin accommodation and facilities capable of generating growth in off season occupancy.

The following provides an outline of key characteristics for each Park;

- The Terrace Reserve Holiday Park is located on the western side of Simpsons Creek and a short walk to the surf beach, cafes, the Hotel and other retail shops. The Park offers families with teenage children access to a variety of holiday activities including surfing, fishing, canoeing, snorkelling and swimming. Of the three Parks it is the closest to the surf beach and retail facilities. People who stay at The Terrace can choose to not use a car for the duration of their visit. This is particularly attractive to older travelers and couples.
- Massy-Greene has absolute water frontage and is only a few minutes from a surf beach and an easy walk via the foreshore reserve pathway system to essential retail facilities and services and the Bruns cafes. The Park is quiet and compact with direct access to a sandy beach with calm water making it ideal for young families. As well the Park's proximity to the Highway provides a capacity to satisfy the requirements of overnight and short-stay guests. In response to these features the design of accommodation and facilities will target younger families and mature age travellers.

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<sup>11</sup> The Brunswick Heads Experience, Brunswick Heads Chamber of Commerce and Industry and Development NSW – p9.

- The site layout and road pattern in Ferry Reserve Holiday Park creates a capacity to provide for the larger caravans, fifth wheelers and motor-homes that cannot be readily accommodated in the other two Parks. The large flat sites are also favoured by tent campers and campervans with the river frontage particularly attractive to fishers and people with small boats. The land and former Fins building which have been added to the Holiday Park provide an opportunity to introduce a comprehensive range of recreational facilities and new accommodation options. These changes will create a distinctly different character for Ferry Reserve and expand the choices available to visitors to Brunswick Heads.

In each case the improvement and promotion of the Parks will be designed to support a family friendly approach that is reflective of established community values and maintains a point of difference for the Brunswick Heads Holiday Parks.

Developing and maintaining an accessible pedestrian pathway along the foreshore to the town centre as proposed in the Foreshore Reserves Strategy is an important part of linking the Holiday Parks to Brunswick Heads. It is also a facility that will make it easier for the guests in Ferry Reserve and Terrace Reserve to support local businesses and events.

### **3.11 Management Issues**

Based on the foregoing information and analysis the key management issues for the ongoing operation of the Terrace Reserve Holiday Park and the care control and management of the reserved land include:

- A requirement to clearly delineate the Holiday Park operational boundaries in relation to adjoining open space;
- Protection and restoration of natural vegetation communities on the Simpsons Creek foreshore;
- Re-establishment of a natural bank profile wherever possible along the Simpsons Creek foreshore;
- Protection and preservation of the environmental resources and qualities of the land and to maintain and establish adequate vegetation within the Park;
- Improvements to the Park entry and exit and internal road system;
- Provision of additional on-site tourist accommodation to address preferences of families, mature age travelers and people with disabilities;
- The ongoing improvement of sites and facilities for guests – amenities, camp kitchen and passive recreation space;
- Security for guests and management;
- Consolidation and management of the long term residential area within the Park;
- The residence, office and reception could be better designed to efficiently service the requirements of staff and guests;
- Replacement of outdated amenities and facilities that are expensive to maintain;
- Continuing introduction of design features and measures to minimise use of water, energy and carbon emissions; and

- Business and commercial management to ensure an appropriate return to the Crown and the funding of ongoing improvements to the land.

**The following Sections describe objectives, strategies and actions required to address these and other essential issues.**

## 4 VISION AND OBJECTIVES

### 4.1 Introduction

This Plan of Management is based on a 'Vision Statement' that will guide NSW Crown Holiday Parks Trust in its decision making processes. The Vision Statement is consistent with the Management Principles developed for the Brunswick Heads Foreshores Reserves Strategy discussed in Section 2.10.12 of this Plan. Implementation of the Vision Statement will be through specific management objectives, strategies and actions described below. The structure of the action plans will allow the Trust to respond to economic factors, new information and social and technological change.

### 4.2 The Vision Statement

The Vision of the Reserve Trust in managing the Terrace Reserve Holiday Park will be:

*To promote, encourage and provide for appropriate use of the Reserved land, and to provide recreation and tourist facilities on the Reserve to meet the current and future needs of the community while conserving, maintaining and improving the natural, cultural and scenic environment of the Reserve.*

### 4.3 Objectives

The Vision for the Terrace Reserve Holiday Park will be implemented in conformity with the following specific objectives:

- |                                      |  |
|--------------------------------------|--|
| 1. Regulatory Compliance             | To ensure the Holiday Park complies with all applicable statutory requirements.  |
| 2. Health Safety and Risk Management | To provide and maintain facilities, in a manner, which minimises risk to Holiday Park guests and staff and promotes a healthy lifestyle.   |
| 3. Business Management               | To maintain a management and operational structure which ensures commercial viability, promotes timely and responsible decision-making and is responsive to the local economic framework and environmental, legal, social and technological imperatives. |
| 4. Environmental Management          | To ensure vegetation and the natural environmental features of the Holiday Park and the reserve are managed in accordance with sound ecological principles and for the enjoyment of guests and visitors.   |

- |   |   |
|---|---|
| 5. Sustainability                       | To ensure principles of ecological and environmental sustainability are incorporated into the design and management of the accommodation, facilities and infrastructure within the Park with the ultimate goal that resources are used efficiently throughout their lifecycle and to meet the needs of the community.   |
| 6. Facilities for Management and Guests | To optimise the recreational and tourism potential of the Holiday Park consistent with the principles of ecological sustainability while improving park presentation and providing a range of recreation and communal facilities for guests and their visitors which complement the Brunswick “Simple Pleasures” theme. |
| 7. Accessibility                        | To design and develop facilities and accommodation that enable people with disabilities and others with restricted mobility to access and enjoy the full range of holiday and recreation opportunities provided in the Holiday Park.  |
| 8. Tourist Sites and Accommodation      | To optimise income to the Holiday Park by providing a range of quality tourist accommodation including opportunities for family and traditional camping within the bounds of ecologically sustainable development and which complement the Brunswick “Simple Pleasures” theme.  |
| 9. Integrated Land Management           | To promote and facilitate integrated management of the range of planning and regulatory issues associated with the use of Terrace Reserve Holiday Park and adjoining reserved land.   |

In the development, improvement and management of the Terrace Reserve Holiday Park the Reserve Trust will adopt sustainability principles and recognise the need for;

- a) conservation of energy and reduction in carbon dioxide emissions,
- b) building materials and building processes that involve low embodied energy;
- c) building design and orientation that uses passive solar design, day lighting and natural ventilation,
- d) energy efficiency and conservation,
- e) water conservation and water reuse,
- f) waste minimisation and recycling,
- g) the use of landscaping to provide shade, shelter and screening; and
- h) potential for adaptive reuse of structures and materials.



## 5 PROPOSED IMPROVEMENT PROGRAM

### 5.1 Introduction

Review and analysis of the Terrace Reserve Holiday Park has resulted in identification of a range of required improvements to management infrastructure, day use facilities, access, caravan park sites and accommodation. Proposed improvements need to be assessed against their potential to enhance the ongoing management efficiency and effectiveness of the Trust and to ensure future financial outcomes for the Holiday Park make an appropriate contribution to the community and the management of reserved Crown land. The opportunities offered through the improvement of the Holiday Park have the potential to grow the business by providing a greater range of site and accommodation options. In formulating a practical improvement program for the Reserve and the Holiday Park, a number of factors have been considered including;

- The principles and parameters established in relevant legislation and policies of the New South Wales government, the Trust and Council;
- Potential to achieve environmental objectives;
- Safety, security and regulatory compliance;
- Potential to improve visitor amenity and maintain income and profit;
- Potential to improve the interface with public access to and enjoyment of the Reserve; and
- Cost and financial contribution to the local economy.

### 5.2 Proposed Mix of Sites and Accommodation

To address community concerns in relation to a range of issues and bring all sites and facilities within the reserve boundaries it has been necessary to reduce the number of sites in the Holiday Park from 199 to 167. This action will reduce the intensity of use of the Reserve and facilitate the protection of existing vegetation and restoration of areas within the Reserve that have been degraded by the use of the land over many decades. While this may place pressure on the profitability of the Holiday Park and its capacity to fund ongoing land management initiatives the business management direction for the Holiday Park will continue to focus on generating the tourist visitation and accommodation occupancies that make a substantial contribution to the local economy.

The proposed mix of sites, cabin accommodation and facilities has been structured to provide the opportunity to grow off-season occupancy rates and visitation even though the peak capacity of the Park has been reduced. A modest increase in the cabin stock will be essential to stabilising income in the first instance and then achieving some income growth in the mid-term. By this means the Holiday Park will be positioned to make a consistent year-round contribution to tourist visitation to Brunswick Heads as well as generate profits that can contribute to funding broader land management initiatives that will benefit the wider community.

### 5.3 Proposed Improvement Program

The proposed improvement program for the Park has been structured to build on existing strengths and attractions. The program will bring improvements on-stream in an orderly manner and in a way that will progressively enhance the income earning capacity and profitability of the business. Works will be undertaken over a number of stages and over a number of years. The construction of some items may require prior approval or consent and adequate time needs to be allowed for the preparation of documents and the assessment and approval process. In addition the works will be undertaken within the context of an operating business environment and will generally be programmed for the period from April to September each year. While this will minimise the adverse impact of construction activity on occupancy rates and financial performance it is a significant restriction in terms of timing and planning.

#### Reception, Office and Park Entrance

The existing manager's accommodation and park office are below the standards required for a tourist accommodation facility in this location. The internal configuration of the existing building is cramped and the relationship between the management and office functions and use of the ground floor of the building is inefficient. The building will be altered and renovated internally and externally to be appropriate to management and operational requirements of the Park. These changes will create internal access from the ground floor to the residence on the first floor, increase the size of the reception area and provide better utilisation of utility and storage spaces.

#### Parking and Roads

The encroachment of the Holiday Park onto the Brunswick Terrace and Fingal Street road reserves had been identified for over twenty years. These extensions of the Park undertaken by former Reserve Trust managers went beyond the original boundaries of Reserve 82999. The land status has now been determined by action to add parts of the road reserves to Reserve 82999. Sites, facilities and infrastructure must now be altered or removed to be brought entirely within those new gazetted reserve boundaries. In the Southern Precinct this will result in a reduction in the number of sites and a requirement to alter the road and site layout. The income lost from these sites will be partially offset by the introduction of additional cabins and facilities.

The reconfiguration of roads and access in the Northern and Southern Precincts will involve some new road construction, removal of existing roads, alterations to underground services, changes to site layouts and relocation of fencing. The existing parking area adjacent to the Holiday Park entry will be retained and available for use by the general public as well as for Holiday Park visitor parking. An additional pedestrian link from Fingal Street to the footbridge will be constructed on the northern side of the playground in Terrace Park. This will provide an alternative pedestrian access for people who do wish to walk through the car park.

#### Camp Kitchens

Existing guest facilities in the Park are relatively limited and an improvement to this aspect of the Park's development will be a key factor in guaranteeing the long term commercial viability of the property. The existing barbecue shelter on the foreshore in the Foreshore Management and Access Precinct will be demolished to open up that part of the foreshore. It is proposed that a

camp kitchen with indoor and outdoor-eating areas, barbecues, sinks, cook-tops and refrigeration for campers and caravanners will be developed in the Northern Precinct in association with the construction of new communal amenities. Alterations to roads, access points and site layout in this area will enable these facilities to be placed within an area of landscaped open space. A second camp kitchen will be provided in the Southern Precinct adjacent to the access to the small beach. The access to the beach will be upgraded and a site specific vegetation and foreshore management program implemented to preserve and protect the character of this area.

The camp kitchens will be lightweight relocatable structures installed in accordance with the provisions of the *Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005*. This approach is cost effective and importantly limits environmental impacts because requirements for cut and fill are minimised.

### Cabin Accommodation

Two new cabins will be added to the Northern Precinct to complement and consolidate the existing supply of holiday accommodation for families and take advantage of the outlook over Simpsons Creek and proximity to the village centre. This will result in a modest increase in the number of cabins in the Park to twelve in total. As recommended in the Brunswick Foreshore Reserves Strategic Plan the cabins will be set back a minimum of 10 metres from the top of the existing sea wall with the existing public pedestrian access along the foreshore retained.

The materials, colour schemes and design features of the cabins, the new camp kitchen and the proposed amenities will be integrated to create a fresh and distinctive character that complements the existing cabins and the setting. Most importantly the design and installation of the cabins will address issues of sustainability;

- Solar hot-water and some use of solar energy generation;
- Use of low embodied energy construction materials;
- Additional attention to insulation, sun shading and cross flow ventilation to reduce the levels of use of air conditioning;
- Establishment of “sustainability” standards for the selection of all building materials, pc fittings and appliances; and
- A preference for Australian materials and products.

### Amenities Blocks and Barbecues

Two existing central amenity buildings in the Northern and Central Precincts are at a stage where they are no longer economic to maintain. The building in the Central Precinct is not structurally sound. These buildings will be demolished and replaced with a single building in the Northern Precinct which will incorporate male, female and disabled ablution facilities and a laundry. The building design will address principles of environmental sustainability.

In the Southern Precinct the existing relocatable communal amenity will be replaced with a structure of more appropriate aesthetic character which will also provide a better standard of facilities. The existing amenity block in the northern part of the Southern Precinct will be refurbished within the life of this Plan of Management. Provision will also be made for screening

treatments to the Park boundary to reduce any adverse visual or other impact of the building and its use on the adjacent residential area.

Barbecue facilities are provided in various locations within the Park. With the development of a camp kitchen some of the existing facilities will be made redundant and demolished. Where appropriate the vacated area will be re-habilitated and sites created.

#### Landscaping and Vegetation Management

Native vegetation in the caravan park provides an excellent structural framework for an ongoing landscaping program. Improvement to the presentation of the caravan park is desirable and landscaping can make a substantial contribution to achieving this objective. Key issues to be addressed include:

- Progressive removal of exotic species - the removal of exotic vegetation will achieve environmental objectives and improve amenity for campers;
- Protection of mature endemic vegetation with particular attention to the preservation of *callitris*, *figus*, *mangrove* and *melaleuca* species found within the Reserve and the Holiday Park;
- Protection, management and maintenance of vegetation in the inter tidal zone along the Simpsons Creek foreshore;
- Signature landscaping to the Park entry;
- Spaces around the proposed cabins and facilities to reduce the impact of the structures and create colour and interest; and
- Separation between functional areas within the Holiday Park and on Park boundaries that adjoin public areas.

#### Fencing, lighting and internal pedestrian pathways

It is not intended that the Holiday Park become a gated and fenced facility, however, fences that are appropriately designed and located can limit the movement of people and vehicles and the directions of pedestrian flows. Existing fencing that does not follow the alignment of the Reserve boundary will be relocated. Continuous fencing on boundaries to public land will only be used as a last resort in circumstances where other management solutions prove to be ineffective.

#### Pedestrian Access

In the past there have been proposals for the establishment of a continuous public pedestrian access along the foreshore of Simpsons Creek. The physical attributes of the foreshore together with the significance of the vegetation communities dictate that this proposal is not pursued within the time frame of this Plan of Management. Rather, the priority will be to progressively relocate existing structures away from foreshore sites to enable the re-establishment of a natural bank profile and the protection and restoration of the vegetation communities. As noted above an additional pedestrian link from Fingal Street to the footbridge will be constructed on the northern side of the playground in Terrace Park.

The Trust will endeavour to permit pedestrian access by the general public through the Terrace Reserve Holiday Park throughout the year to maintain a usable pedestrian link from the reserved

land to the south of the Holiday Park through to Terrace Park, the footbridge and the village centre. Clearly the provision of access will occur within the context of a facility that provides homes for the Park's long term residents as well as sites and accommodation for visitors to Brunswick Heads. Public access may be restricted or suspended at any time at the discretion of the Reserve Trust to respond to operational and management requirements with respect to the safety, security and welfare of residents, guests, visitors and members of the public.

### Signs

With the addition of new facilities and accommodation new signage will be required. An integrated approach is required for all aspects of signage including provision of information to residents and guests, members of the public, environmental education and regulation of activities. As well, consolidation of signs as opposed to a proliferation of small signs presenting warnings and prohibitions is required to communicate more effectively and ensure the design and quantity of signs is appropriate to the attractive natural setting.

### Environmental Management

Environmental initiatives cover vegetation management, water use controls and energy efficiency. There are opportunities for improved storage and recycling of wastes, including green waste. In many cases environmental objectives can be achieved through design features of the roads, cabins and buildings generally.

To achieve an acceptable level of environmental management and sustainability it is intended the following issues be considered in relation to all aspects of the improvement of the Holiday Park:

- installation of solar collectors to provide energy requirements for the office and reception facilities;
- installation of some solar powered area and street lighting;
- use of low ecological impact materials;
- use of renewable materials; and
- use of low embodied energy materials.

In addition a responsible approach to business management demands attention is given to minimising operational energy and water requirements, recycling and the collection and re-use of storm-water. Proposed cabins and facilities such as the camp kitchen and amenities may include rainwater tanks designed to collect roof-water for use in landscaping and toilet flushing.

In order to reduce CO<sup>2</sup> emissions consideration will be given to progressively switching from existing coal-fired energy sources to renewable energy sources.

## **5.4 Authorised Works – refer to Drawing T 03 – T-06**

The following provides a description of the changes, and improvements that will be made to Terrace Reserve Holiday Park over the next 5 to 10 years. These improvements and actions are identified and described in Sections 5 and 6 of this Plan of Management and in the Drawings included at Appendix D. The drawings show the proposed site layout and allocation of sites and

the proposed facilities the Holiday Park will provide at the completion of the improvement program.

The required development, improvements and works are itemised below under each of the relevant Management Precincts and are authorised pursuant to Clause 65(2) of *SEPP Infrastructure 2007*.

At the completion of the Improvement Program the Terrace Reserve Holiday Park will supply a total of 167 dwelling sites for residents and guests in accordance with the relevant and applicable regulatory controls.

## 5.5 Management Precincts

### 5.5.1 Foreshore Management and Access Precinct

The Foreshore Management and Access Precinct will be set aside and managed and maintained to preserve the opportunity for public pedestrian access along the foreshore of this section of Simpsons Creek. The existing barbecue shelter will be removed.

Authorised Activities and Works: Demolition; sea wall maintenance and construction; vegetation management; foreshore restoration; pathway construction; signage; fencing and landscaping.

### 5.5.2 Foreshore Environmental Management Precinct

The objective for this part of the Reserve is to protect and restore the significant environmental features and resources of the intertidal zone and the foreshore of Simpsons Creek. The structure and profile of the foreshore has been damaged and degraded by the installation of moveable dwellings on sites with frontage to the foreshore over the past 25 years. In addition to the installation of the moveable dwellings the unauthorised creation of private outdoor spaces by the occupants has, in places, significantly altered the foreshore through construction of retaining walls, fences, paving and gardens.

The Reserve Trust will continue to implement strategies to achieve the progressive removal of unregistrable moveable dwellings and other improvements from foreshore sites to enable environmental protection works, restoration of the natural bank profile and re-vegetation programs to proceed. The Trust will investigate the retention of access to the creek and small beach adjacent to Site 122 as part of the foreshore restoration program while having due regard for the appropriate protection of the environment.

Authorised Activities and Works: Demolition of existing structures; environmental and vegetation management; foreshore restoration; signage; fencing and landscaping.

### 5.5.3 Northern Precinct

The entry to any tourist facility is a very significant component of its appeal to prospective guests and contributes to efficient management. The configuration of the Park entrance will be upgraded and altered to provide for more efficient vehicular movements. Lay-bys will be created to assist with guest arrivals and departures and to reduce “stacking” in Fingal Street. The existing office area will be altered and renovated to provide for a more spacious customer oriented reception.

The sites in the Northern Precinct present a considerable opportunity to provide quality holiday experiences in a location with excellent views of the estuary in close proximity to existing and proposed Park facilities. This location is particularly suitable for young families. The internal roads will be reconfigured to allow for a more practical layout and configuration of sites to allow for the installation of additional cabin accommodation and en-suite facilities. The Precinct will continue to accommodate some long-term residents.

Two existing amenities blocks will be demolished and replaced. New facilities will include an amenity block and a camp kitchen. Soft and hard landscaping elements will be employed to create an appropriate transition between public spaces and the Holiday Park.

The Brunswick Heads Foreshore Reserves Strategy proposed that where appropriate there would be the progressive definition of a 5 metre wide public access corridor along the foreshore with a 10 metre setback from MHWL or the top of the seawall to any Holiday Park structures. Any new structures including cabins that are proposed to be added in the Northern Precinct will achieve a setback of 10 metres from MHWL. In addition the demolition of the existing barbecue shelter will remove an existing structure that is currently located within 10 metres from MHWL. The existing foreshore pathway will be retained and linked to the designated public access route that will run the length of the Holiday Park as shown on Drawing TR-04.

Approved Activities and Works: Demolition; landscaping; office and administration building alterations, additions and renovations; development of communal amenities, laundry and camp kitchen, parking and road works; construction of amenities and a camp kitchen; reconfiguration of existing approved sites; installation of cabins; and works associated with the reticulation of underground services.

### 5.5.4 Central Precinct

This Precinct will continue to provide long-term sites for the Park’s existing residents and short term sites for tourist use. On-going action is required to ensure all relocatable dwellings meet compliance requirements of the Regulations. Changes to the occupation of sites along the edge of Simpsons Creek are generally subject to the provisions of the *Residential Parks Act* and as a consequence it is not possible to commit to a specific program for the relocation of those moveable dwellings. However, no unregistrable moveable dwelling has been installed on

foreshore sites in the Central Precinct since the change to the management of the Reserve Trust in 2006 and four unregistrable moveable dwellings have been removed since that time.

Implementation of this Plan of Management will facilitate the early removal of structures from sites L120 and V11. In addition the actions of the Reserve Trust will further reduce the number of structures on foreshore sites to the extent allowed by the regulatory framework and the Reserve Trust's commitment to respecting the rights of existing long term residents. As existing moveable dwellings on foreshore sites are removed those sites will be re-habilitated and allocated for tourist use for traditional camping and caravanning.

The Trust will investigate relocation of existing waste storage and collection area to the Central Precinct with direct access from Booyun Street. If this change is not appropriate or feasible the existing waste storage and collection area will be retained.

Approved Activities and Works: Landscaping; improvements to roads, parking, access and pathways; development of Park maintenance and storage facilities; and installation of moveable dwellings in accordance with the requirements of the *Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005*; construction of a drying area.

#### 5.5.5 Southern Precinct

The road and site layout in the Southern Precinct will be altered to account for the loss of land and sites as a result of the resolution of the boundary between the Park and Brunswick Terrace. The current area occupied by the Holiday Park will be reduced and the existing post and rail fence relocated to the new gazetted boundary alignment. Security fencing will be installed in the Park only as a last resort in circumstances where other measures do not achieve an adequate outcome. If security fencing is required landscaping will be used to soften any adverse visual impact. The location and alignment of the road within the Holiday Park will be changed to retain as many sites as possible. The existing relocatable communal amenity will be removed and replaced with a new purpose designed relocatable structure. A camp kitchen will be installed in accordance with the provisions of the *Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005*. The adjacent access to the small beach on the foreshore will be upgraded. A designated public access corridor will be established within the Park.

Approved Activities and Works: Demolition; landscaping; vegetation management; reconfiguration of the road and site layout; fencing; road and pathway construction; installation of communal amenities and camp kitchen in accordance with the requirements of the *Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005*; underground services reticulation.



### 5.5.6 General Improvements

Ongoing management and activities throughout the Holiday Park include requirements to;

- Maintain vegetation on the perimeter and within the Holiday Park;
- Ensure fencing and entry points are appropriate to land management requirements;
- Maintain and improve the seawall<sup>12</sup>; and
- Maintain an appropriate waste management system throughout the Holiday Park

Approved Activities and Works: Demolition; erosion control works; fencing; internal road works; development, construction and installation of infrastructure and utilities; landscaping; removal of vegetation but only on the basis of a Vegetation Management Plan prepared by a suitably qualified arborist; development of and improvements to amenities and recreation facilities; and relocation and reconfiguration of existing approved sites in accordance with the requirements of the *Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005*.

### 5.6 Staged Development

The proposed improvement program will be implemented in stages. The reduction in the total number of approved sites as a result of resolution of boundary issues, increases in site areas, installation of cabins and development of recreational facilities means that occupancy rates will need to be steadily increased to replace the income currently generated by those sites. This growth is required to preserve the commerciality of the Holiday Park and maintain the input to the local economy generated by the spending of Holiday Park guests.

It is also recognised the introduction of additional cabin accommodation has the potential for negative impacts on the viability of the local rental holiday accommodation market. In this regard the number of new cabins has been reduced compared to previous proposals in the 2010 Draft Plan of Management for Terrace Reserve.

The following shows indicative staging for implementation of the proposed Improvement Program.

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<sup>12</sup> Preliminary designs for shoreline remediation are contained in the report by Geolink; *Brunswick Heads Caravan parks Preliminary Concept Design Report, April 2007*.

<b>Terrace Reserve Holiday Park</b>	<b>Stage 1</b>	<b>Stage 2</b>	<b>Stage 3</b>	<b>Stage 4</b>
Remove campsites adjacent to the Terrace in Southern Precinct. Re-establish fencing on the Reserve boundary				
Renovate Southern Community Amenity including establishment of screening and landscaping				
Construct new Communal Amenity Northern Precinct				
Relocate Villa 11 from foreshore				
Public pedestrian access signage				
Install two cabins				
Install Northern camp kitchen				
Re-align the Park entry and exit roads and construct arrival and departure lay-bys.				
Alterations and additions to the Managers Residence, reception and office areas				
Road and site alterations – Waterfront Precinct				
Road and site alterations - Northern Precinct				
Demolish existing barbecue shelter in the Foreshore Management and Access Precinct				
Demolish existing communal amenity blocks				
Maintenance Shed				
Relocate Existing Structure on Site 73				
Barbecue Shelters				
Re-align the road and sites in the Southern Precinct				
Install southern camp kitchen				
Install southern relocatable communal amenities				
Fencing				
River access / stairs				
Foreshore restoration				
Central precinct road upgrade				
Central precinct site upgrades				
Landscaping and vegetation management				

## 5.7 Assessing Proposed Improvements

This Plan of Management proposes that a number of improvement projects are undertaken by the Reserve Trust over the next 5 to 10 years. There has been wide ranging analysis and consideration of these proposals during the preparation of this Plan, however, caravan parks operate in a dynamic commercial environment. Therefore a number of questions should be considered by the Reserve Trust when deciding whether a particular land use or development is to proceed within the Reserve at any particular time;

- The need for the proposal – is it still required and will it promote and support the use and enjoyment of the Reserve and the Holiday Park?

- Benefit – will the improvement bring direct benefits to the users of the Reserve and the Holiday Park?
- Impact – will the proposal have any adverse impact on any existing or emerging legitimate use of the reserve?
- Are there any new or emerging environmental or land management constraints that should be considered and assessed in relation to the proposed improvement?
- Does the Trust have the resources to effectively manage and maintain the proposed facility for the ongoing benefit of Reserve users? and
- Does the improvement represent a commercial benefit in relation to the actual operating environment of the Holiday Park at that time?

## 5.8 Financing Improvements

The Terrace Reserve Holiday Park generates income from two primary sources: rental of tourist sites for holiday accommodation and the rental of long-term sites. Under current administrative arrangements information on the income and expenditure of the Park (which is information of a commercial nature) is provided annually to Crown Lands, Department of Trade and Investment. The Holiday Park is trading profitably and each year contributes a levy equal to 5% of Gross Revenue to the Public Reserves Management Fund (PRMF). Funding for new initiatives can therefore be made from two sources: net profit (gross profit less operational expenses, PRMF contributions and depreciation) and loans. The only area where additional financial assistance may be considered relates to applications for grant funding to undertake environmental works and to contribute towards the cost of public facilities.

## 5.9 Outcomes

Implementation of the improvements and initiatives described above will achieve the following results;

- A reduction in the land area occupied by the Holiday Park;
- All approved sites will be entirely within the boundaries of Reserve 82999 for Public Recreation and Resting Place;
- A reduction in intensity of use of the land as a result of the reduction in the number of approved sites;
- A reduction in traffic impacts and parking in the adjoining streets and residential areas as a result of the reduction in the number of sites, improvements to the design of the Holiday Park entry and exit;
- Establishment of a designated route through the Holiday Park for public pedestrian access and development of management guidelines for use of the public pedestrian access;
- Progressive removal of unregistrable moveable dwellings and unauthorised ancillary structures from existing sites with frontage to the foreshore of Simpsons Creek and rehabilitation of those sites for traditional camping and caravanning;
- Progressive re-establishment of a natural bank profile to the Simpsons Creek foreshore;
- Protection and restoration of significant vegetation communities with the Reserve;
- Improvements to the operational and management infrastructure of the Holiday Park;

- Installation of additional cabin accommodation; and
- Improved communal amenities and facilities for Holiday Park guests.

The reduction in the total number of sites in Terrace Reserve Holiday Park as a result of the resolution of boundary issues and to address environmental and community concerns will have a significant impact on the peak capacity of the Holiday Park. To balance this impact the Reserve Trust will be required to develop further strategies to achieve continued growth in off-season occupancy in order to ameliorate the resultant effect on the local economy and to maintain the contribution the Holiday Park makes to the improvement of adjoining Crown reserves.

## 6 PLAN, OBJECTIVES, STRATEGIES AND ACTIONS

The following tables detail the Management Strategies and Management Actions to be implemented by the Reserve Trust. In the first instance the Strategies and Actions are designed to achieve the Vision for the Reserve and address the Management Objectives outlined in Section 4. The implementation of the identified Actions will address the Management Issues identified in Section 3.11. Where further documentation is required the planning and design process will be guided by and comply with the Vision, Objectives and Strategies established by this Plan.

### 6.1 Regulatory Compliance

**Objective:** To ensure the Holiday Park complies with all applicable statutory requirements.

Strategy	Actions
Sites and facilities to conform to relevant regulations.	<ul style="list-style-type: none"> <li>• Ensure sites are sized, located and provided with utility services and amenities in accordance with the applicable provisions of the <i>Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005</i>;</li> <li>• Comply with the conditions of the current Section 68 Approval to operate a Caravan Park;</li> <li>• Apply for renewal of the Section 68 Approval in a timely manner;</li> <li>• Design, construct and install moveable dwellings and submit documents in accordance with requirements of the Regulations;</li> <li>• Maintain the Park's Community Map to accurately reflect the current layout and use of sites;</li> <li>• Through sound design ensure that proposed improvements comply with the requirements of the Regulations and any applicable statute, code or policy.</li> </ul>

### 6.2 Health, Safety and Risk Management

**Objective:** To provide and maintain facilities, in a manner, which minimises risk to Holiday Park guests and staff and promotes a healthy lifestyle.

Strategy	Actions
Continue to provide health, safety and risk management for the public and for staff involved in maintenance and management activities.	<ul style="list-style-type: none"> <li>• Undertake ongoing comprehensive risk assessment of the Holiday Park on the basis of a structured WH and S Management Plan;</li> <li>• Minimise public risk through the ongoing implementation of a risk management strategy and undertake regular review of strategies and policies in the light of risk assessments;</li> <li>• Ensure all staff and management is appropriately trained;</li> </ul>

	<ul style="list-style-type: none"> <li>• Maintain and use any equipment in accordance with regulations and manufacturer's specifications;</li> <li>• Store and use chemicals as required by regulations and in accordance with manufacturer's recommendations.</li> </ul>
Ensure the enjoyment and use of the reserve is not compromised by inappropriate behaviour.	<ul style="list-style-type: none"> <li>• Undertake a review of the activities that should be prohibited or regulated on the reserve;</li> <li>• Specify the activities that are prohibited or permitted in accordance with the requirements of the <i>Crown Lands (General Reserves) By-law 2006</i>.</li> </ul>
Maintain facilities and accommodation to appropriate standards.	<ul style="list-style-type: none"> <li>• Continue to maintain an asset management register and fund the ongoing implementation of the Park's asset management plan.</li> </ul>
Protect life and property from the consequences of natural events.	<ul style="list-style-type: none"> <li>• Maintain an adequate emergency evacuation and response plan.</li> </ul>
Ensure the Park, cabins and facilities are maintained and presented to a high standard.	<ul style="list-style-type: none"> <li>• Provide consistent supervision and review of the maintenance and cleaning responsibilities of the Contract Manager.</li> </ul>

### 6.3 Business Management

**Objective:** To maintain a management and operational structure which ensures commercial viability, promotes timely and responsible decision-making and is responsive to the local economic framework and environmental, legal, social and technological imperatives.

Strategy	Actions
Continue to maintain a process for business planning and performance review.	<ul style="list-style-type: none"> <li>• Prepare an annual budget for the operation and improvement of the Park;</li> <li>• Establish financial performance targets and undertake regular review of the operation of the Holiday Park against targets, budget and other management objectives;</li> <li>• Report financial outcomes to Crown Lands, Department of Trade and Investment annually.</li> </ul>
Preserve the financial contribution the Holiday Park makes to the management of the local reserve system, the Crown estate and to the local community.	<ul style="list-style-type: none"> <li>• Establish and maintain market based tariffs in accordance with the provisions of the <i>Crown Lands (General Reserves) By-law 2006</i>;</li> <li>• Review and set tariffs for all sites and on-site accommodation in line with a comprehensive marketing plan on at least an annual basis;</li> <li>• Establish tariffs for sites, which reflect the market potential for</li> </ul>

	the form of accommodation being offered and the cost of providing facilities and service.
Market and promote the Park in a way that complements the Brunswick “Simple Pleasures” theme and to achieve appropriate commercial outcomes.	<ul style="list-style-type: none"> <li>• Identify new and emerging market opportunities;</li> <li>• Prepare and implement an annual marketing and promotional strategy;</li> <li>• Maintain a co-operative relationship with Brunswick Heads Tourism and the Chamber of Commerce.</li> </ul>
Provide competent day to day management.	<ul style="list-style-type: none"> <li>• Seek and engage competent and qualified contractors;</li> <li>• Create, implement and maintain policies and procedures to ensure best practice for all aspects of the operation of the business and maintenance of the Crown’s asset;</li> <li>• Investigate opportunities for the further integration of management with the other Parks at Brunswick Heads.</li> </ul>
Provide high levels of customer service and asset and business management.	<ul style="list-style-type: none"> <li>• Maintain a human resource management strategy which ensures appropriate qualifications and skills are available;</li> <li>• Identify, prepare and implement training programs.</li> </ul>
Manage sites occupied by long term residents and holiday van owners in a consistent and transparent manner.	<ul style="list-style-type: none"> <li>• Ensure all occupancy agreements are current and in accordance with the respective provisions of the <i>Residential Parks Act 1998</i> and the <i>Holiday Park(Long Term Casual Occupation) Act 200</i> and any new legislative requirements in relation to tenancy.</li> </ul>

#### 6.4 Environmental Management

**Objective:** To ensure vegetation and the natural environmental features of the Holiday Park and the reserve are managed in accordance with sound ecological principles and for the enjoyment of guests and visitors.

Strategy	Actions
Maintain environmental integrity.	<ul style="list-style-type: none"> <li>• Formulate and implement an Environmental Management Strategy to identify, minimise and manage the environmental impacts of the Trust’s activities on the environment by systematically integrating environmental management into daily operations, long term planning and other quality management systems;</li> <li>• Undertake an independent Review of Environmental Factors before proceeding with implementation of proposed improvements and development.</li> <li>• Consult with relevant environmental management authorities</li> </ul>

	prior to commencement of works.
Promote and maintain the health of existing and proposed native vegetation in the Reserve.	<ul style="list-style-type: none"> <li>• Preserve and protect existing native vegetation in the Holiday Park when relocating sites or undertaking improvements;</li> <li>• Only use endemic native species for landscaping and tree replacement;</li> <li>• Only use non invasive grass species when turfing areas of the Park;</li> <li>• Remove weeds and re-vegetate areas appropriate to land-use, design and management of facilities;</li> <li>• All arboricultural work in the Park shall be best practice and undertaken by a qualified arborist;</li> <li>• Do not permit attachment of signs, clothes lines or tent ropes to trees.</li> </ul>
Improve and maintain environmental and visual amenity.	<ul style="list-style-type: none"> <li>• Restore foreshore vegetation in accordance with site specific vegetation management plan.</li> <li>• Provide additional landscaping to the surrounds of the amenities building and clothes drying areas;</li> <li>• Implement a replacement planting program for any trees required to be removed and provide protection during establishment.</li> </ul>
Minimise disturbance to native vegetation.	<ul style="list-style-type: none"> <li>• Use appropriate siting for facilities and walkways;</li> <li>• Carefully manage pedestrian and vehicle access;</li> <li>• Define buffer areas and protect vegetation through mulching, edge planting and/or fencing as appropriate.</li> </ul>
Implement effective catchment management to minimise impacts on water quality.	<ul style="list-style-type: none"> <li>• Implement erosion control measures, litter and silt traps and drainage line filters where required to control storm water;</li> <li>• Use chemicals in accordance with approved Trust and AS guidelines;</li> <li>• Promote catchment management principles as appropriate.</li> </ul>
Minimise fire hazard to property and appropriately manage natural coastal vegetation.	<ul style="list-style-type: none"> <li>• Provide and maintain adequate fire control access;</li> <li>• Provide and maintain fuel free and fuel reduced zones where necessary. Minimise disturbance to natural vegetation;</li> <li>• Do not allow solid fuel campfires or cooking fires.</li> </ul>
Manage coastal processes and climate change while allowing for natural occurrences.	<ul style="list-style-type: none"> <li>• Ensure the sea on the foreshore in the Foreshore Management and Access Precinct is properly maintained;</li> <li>• Close access and repair damage as necessary after storm events;</li> <li>• Develop specific climate change adaptation plans in accordance with government policy.</li> </ul>



## 6.5 Sustainability

**Objective:** To ensure principles of ecological and environmental sustainability are incorporated into the design and management of the accommodation, facilities and infrastructure within the Park with the ultimate goal that resources are used efficiently throughout their lifecycle and to meet the needs of the community.

Strategy	Actions
Sustainable Development	<ul style="list-style-type: none"> <li>Assess improvement and development proposals in the light of sustainability principles;</li> <li>Implement best practice approaches to achieving sustainable resource management.</li> </ul>
Resource Sustainability	<ul style="list-style-type: none"> <li>Promote sustainability in the design, construction and management of assets including use of low embodied energy materials, replaceable resources, plantation timbers, etc;</li> <li>Price goods and services to recover the full life cycle costs of providing the goods and services including the use of natural resources and assets and disposal of waste.</li> </ul>
Reduce carbon footprint.	<ul style="list-style-type: none"> <li>Progressively reduce dependence on high CO<sup>2</sup> energy sources by acquiring electricity from renewable energy sources.</li> </ul>
Minimise use of water and energy.	<ul style="list-style-type: none"> <li>Manage resources with an emphasis on energy minimisation, water use minimisation, water harvesting and re-use, and responsible waste management;</li> <li>Recycle waste where possible and appropriate.</li> </ul>

## 6.6 Facilities for Management and Guests

**Objective:** To optimise the recreational and tourism potential of the Holiday Park consistent with the principles of ecological sustainability while improving park presentation and providing a range of recreation and communal facilities for guests and their visitors which complement the Brunswick "Simple Pleasures" theme.

Strategy	Actions
Provide facilities that reflect the quality of the location, land management priorities and current industry and market benchmarks.	<ul style="list-style-type: none"> <li>Improve the Holiday Park and develop facilities as described in this Plan of Management and as generally indicated on the Drawings included at Appendix D;</li> <li>Provide communal facilities within the Holiday Park in accordance with the relevant regulations and improve ancillary facilities for guests including barbecues and children's play equipment;</li> <li>Maintain an adequate supply of short term sites for caravans, tents and recreational vehicles;</li> <li>Increase the size of some sites to provide parking for site occupants within the boundaries of the site;</li> </ul>

	<ul style="list-style-type: none"> <li>• Provide additional visitor parking;</li> <li>• Maintain and where possible improve the AAA Tourist rating for the Park.</li> </ul>
Implement a staged development process that is achievable in terms of planning and financial constraints.	<ul style="list-style-type: none"> <li>• Undertake improvements to the Park based on the internal capacity of the caravan park to support the funding of the works.</li> </ul>
Improve presentation and efficiency of the Park entrance and reception facilities.	<ul style="list-style-type: none"> <li>• Demolish the existing reception, office and storage areas and develop new facilities at the western end of the Park generally in accordance with Drawings included at Appendix D;</li> <li>• Ensure signage and lighting throughout the park meets the safety needs of visitors, guests, residents and staff.</li> </ul>
Remove inefficient and redundant facilities and improve amenity for guests.	<ul style="list-style-type: none"> <li>• Demolish existing small amenities blocks and rehabilitate the areas to enable use for sites and accommodation and the installation of a relocatable communal amenity;</li> <li>• Install and construct new facilities for guests as detailed in Drawings included at Appendix D and including a new BBQ shelter, camp kitchen facilities and renovation and upgrade of amenities as required.</li> </ul>

## 6.7 Accessibility

**Objective:** To design and develop facilities and accommodation that enable people with disabilities and others with restricted mobility to access and enjoy the full range of holiday and recreation opportunities provided in the Holiday Park.

Strategy	Actions
Provide facilities that facilitate equity of access.	<ul style="list-style-type: none"> <li>• Design and construct communal amenities, barbecue shelters, camp kitchen and other facilities to address the relevant requirements of AS 1428 – Design for Access and Mobility;</li> <li>• Ensure the public areas of the Park Reception and Office have access complying with the relevant requirements of AS 1428 – Design for Access and Mobility;</li> <li>• Where possible and practical construct pathways at grades and widths complying with the relevant requirements of AS 1428 – Design for Access and Mobility;</li> <li>• Progressively improve accessibility to existing facilities;</li> <li>• Provide visitor parking for people with disabilities that complies with Clause 68 of <i>the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005</i>.</li> </ul>

Provide accommodation that addresses the requirements of people with restricted mobility.	<ul style="list-style-type: none"> <li>Design and install cabin accommodation that addresses the relevant requirements of AS 1428 – Design for Access and Mobility and where possible provide more than one bedroom within the cabin that complies with those design requirements;</li> </ul>
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## 6.8 Tourist Sites and Accommodation

**Objective:** To optimise income to the Holiday Park by providing a range of quality tourist accommodation including opportunities for family and traditional camping within the bounds of ecologically sustainable development and which complement the Brunswick “Simple Pleasures” theme.

Strategy	Actions
Provide additional on-site accommodation and site types.	<ul style="list-style-type: none"> <li>Install additional quality on-site accommodation designed to complement the character of the coastal setting and capable of generating a consistent income stream to finance the ongoing management of the caravan park and make a substantial contribution to the management of the adjoining reserved lands;</li> <li>Install cabins that address sustainable design principles;</li> <li>Install cabins as part of a staged program of improvement;</li> <li>Maintain a four star AAA rating for existing and proposed self contained on-site accommodation;</li> <li>Continue the existing focus on the provision of accommodation that delivers a quality product at an affordable price.</li> </ul>

## 6.9 Integrated Management

**Objective:** To promote and facilitate integrated management of the range of planning and regulatory issues associated with the use of Terrace Reserve Holiday Park and adjoining reserved land.

Strategy	Actions
Implement the Plan of Management and relevant statutory requirements in an ongoing, co operative and timely manner within the available resources.	<ul style="list-style-type: none"> <li>Liaise with other local, regional and state authorities particularly where co-ordination of activities on adjoining lands is involved.</li> <li>Maintain awareness of the activities of other authorities particularly in relation to the use of the waterway and waterfront land;</li> <li>Obtain all necessary approvals and consents as required by relevant legislation before undertaking works;</li> <li>Continue liaison with the Crown Lands in relation to new and emerging government policy that impacts on the management of reserved Crown land.</li> </ul>

<p>Maintain a continuing dialogue with the local Council and the community in relation to the management of the parts of the Reserve that used by the public.</p>	<ul style="list-style-type: none"> <li>• Maintain the Foreshore Management and Access Precinct to provide for public pedestrian access along that section of the foreshore of Simpsons Creek;</li> <li>• Generally permit pedestrian access by the general public through the Terrace Reserve Holiday Park throughout the year but subject to operational and management requirements with respect to the safety, security and welfare of residents, guests, visitors and members of the public;</li> <li>• Improve and maintain the existing foreshore pathway within the Reserve for public pedestrian use and provide appropriate fencing to indicate the limit of caravan park improvements and activities;</li> <li>• Liaise and co-operate with adjoining land management authorities including Byron Shire Council to achieve continuity of public pedestrian foreshore access and consistency with respect to the standard of surface finish, width and signposting.</li> </ul>
<p>Protect and enhance Aboriginal cultural values in the Reserve</p>	<ul style="list-style-type: none"> <li>• Comply with the requirements of the “Due Diligence Code of Practice for the Protection of Aboriginal Objects in NSW” before proceeding with improvement works;</li> <li>• Identify and protect significant sites and consult with relevant groups and authorities prior to commencement of works on site;</li> <li>• Ensure access to significant sites for Aboriginal use;</li> <li>• Provide interpretation of significant sites where appropriate;</li> <li>• Maintain on-going consultation with local elders and Department of Environment &amp; Conservation.</li> </ul>
<p>Protect and enhance European cultural and historic values in the Reserve</p>	<ul style="list-style-type: none"> <li>• Identify and protect significant sites;</li> <li>• Provide appropriate interpretation of significant sites where desirable.</li> </ul>

## 7 IMPLEMENTATION AND REVIEW

This Plan of Management has been prepared pursuant to the provisions of the *Crown Lands Act 1989* to provide an appropriate statutory basis for the continuing improvement and operation of the Terrace Reserve Holiday Park which is one of a number of caravan parks on reserved land managed by the NSW Crown Holiday Parks Trust.

This Plan provides a medium term strategy for the management and improvement of the Terrace Reserve Holiday Park. It is anticipated a majority of the works described will be implemented over a five to ten year period. Priorities for works and funding are to be addressed on an annual basis to meet development priorities and community needs.

The key outcomes that will be achieved as a result of the implementation of this Plan of Management are;

Social Equity – the improvement of the Holiday Park will provide a variety of types of sites and accommodation at range of price-points. This will add to choice for people who visit Brunswick Heads and add to the provision of facilities in the area. New cabins installed in the Park will include a unit specifically designed to accommodate people with restricted mobility.

Environmental Quality – The Improvement Plan includes specific initiatives aimed at preserving existing natural vegetation and progressively removing exotic and invasive species from the Reserve. Attention will also be given to storm-water drainage to reduce the impact of erosion.

Importantly the design of facilities and cabins will address principles of ecological sustainability and responsibility to minimise use of water, energy and non-renewable resources as well as encourage recycling. In addition the Trust's management of the Reserves and the Holiday Park will operate within a framework established by an Environmental Management Plan.

Economic Prosperity – The improvements to the Holiday Park will guarantee the preservation of existing jobs and potentially create new employment opportunities to manage the improved property particularly as occupancy rates are steadily increased.

Employment and work for local businesses and contractors will be generated during the construction phase of the improvement program. Importantly increased visitation to the Park will generate spending that will bring "new" money to the local economy. Another significant outcome will be that profits from the operation of the Holiday Park will be used to fund land management initiatives that will benefit the wider community.

Corporate Governance – The Reserve Trust has a range of policy and procedural measures in place to ensure the management of the Reserves is in the public interest and

consistently addresses the associated issues of procedural fairness, probity and security of the value of the Trusts' assets and income. To this end all aspects of the operation of the Trust are subject to regular internal and external review and audit.

Progress in relation to the implementation of the Plan of Management will be monitored by the Reserve Trust and the Trust will report on an annual basis to Crown Lands, Department of Trade and Investment.

This Plan is to be reviewed approximately every five years or as required to ensure it continues to be relevant to and consistent with government legislation and policy and community expectation.

**APPENDIX A      Section 68 Approval**





## CARAVAN PARK OR CAMPING GROUND APPROVAL

Issued Pursuant to Section 68, Part F2 of the  
Local Government Act, 1993

Local Government (General) Regulations 2005 and  
Local Government (Manufactured Home Estates, Caravan Parks,  
Camping Grounds And Moveable Dwellings) Regulation, 2005

Crown Land & North Coast Accommodation Trust  
PO Box 647  
BALLINA NSW 2478

The Council of Byron Shire hereby grants Byron Shire Holiday Parks Reserve Trust an approval under Section 68 Part F2 of the Local Government Act, 1993; Local Government (General) Regulation, 2005 and Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation, 2005 in respect of the caravan park and camping ground situated at Part Lot 416 DP 728666, Lot 313 DP 755692, Lot 403 DP 728637, Lot 1 DP 1169548, and Lot 50 DP 1169550, The Terrace BRUNSWICK HEADS 2483 known as the **Terrace Reserve Holiday Park**. A map of the park boundary is included as part of this approval (Doc #E2013/25129).

Subject to compliance with the provisions of Section 68, Part F2 of the Local Government Act, 1993; Local Government (General) Regulation, 2005 and Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation, 2005, and conditions attached to this approval by Council, the following types of accommodation are permitted to the extent indicated:

This approval relates to a total of **48** camping sites and **151** dwelling sites. These sites comprise **34** long-term sites, **117** short-term sites and **48** campsites. Of these **117** short-term sites, **16** have been reserved for use by self-contained moveable dwellings only. The numbers, sizes and locations of all dwelling sites and campsites are specified in the community map identified by Reference No. T-01 (Integrated Design Job No. 26.34 Dated august 2010).

This approval shall remain in force for a period of twelve (12) months from the date of issue unless sooner surrendered or suspended.

Issued 10 May 2013  
**Expiry Date: 9 May 2014**

Yours faithfully

Jon Rushforth  
Team Leader; Environmental Services

ALL COMMUNICATIONS TO BE ADDRESSED TO THE GENERAL MANAGER  
PO Box 219 Mullumbimby NSW 2482 (70-90 Station Street)  
Tel: (02) 6626 7000 DX 20007 Mullumbimby  
Fax: (02) 6684 3018 Email: council@byron.nsw.gov.au  
Web: www.byron.nsw.gov.au ABN:14 472 131 473





**TOTAL FACILITIES PROVIDED FOR:**

Toilets	Female	18
	Male	14
	Urinals	7
	Unisex Disabled	1
Showers	Female	14
	Male	14
	Unisex Disabled	1
Handbasins	Female	16
	Male	12
	Unisex Disabled	1
<b>LAUNDRY</b>	Washing Machines	7
	Washing Tubs	10
	Clothes Dryers	5
	Line Space	302m
	Ironing Facilities	4

**Site Classifications**

- **34** long-term sites: identified as sites 51, 73, 77, 78, 79, 82, 84, 85, 87, 88, 89, 102, 105, 107, 110, 111, 112, 113, 118, 119, 120, 122, 124, 125, 126, 127, 129, 130, 132, 134, 135, 138, 139, and 141
- **117** short-term sites. This includes **17** short-term sites with private toilet and shower facilities identified as sites 1 to 11 inclusive, 74, 80, 81, 92, 101 and 142.
- **48** campsites.

**Site Definitions**

**Camp site** means an area of land within a camping ground on which a campervan or tent may be installed or, in the case of a primitive camping ground, on which a campervan, tent or caravan may be installed, and that is designated as a camp site by the approval for the camping ground.

**Long-term site** means a dwelling site that is specified in the approval for a caravan park as being a long-term site.

**Short-term site** means a dwelling site on which a moveable dwelling that is ordinarily used for holiday purposes may be installed and that is specified in the approval for a caravan park as being a short-term site.

## STANDARD CONDITIONS

1. This approval shall be prominently displayed on a part of the approved premises where it may be seen by all residents. Display shall be accompanied by a copy of the community map.
2. The operation of the caravan park/camping ground and any work associated with its operation must comply with any applicable standard established by the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005.
3. It is a condition of this approval that the land not be used for the manufacture, construction or reconstruction of moveable dwellings (this condition does not prevent the on-site repair of moveable dwellings).
4. It is a condition of this approval that inspections of the premises may be conducted by Council, to ensure continued compliance with the Act and the relevant regulations.

## THE FOLLOWING CONDITIONS TO BE SATISFIED AT ALL TIMES

5. No extension of camping and caravan park activities outside the provisions of this approval is permitted without prior written approval of council. Failure to comply with this approval and requirements of the Regulations may void this approval.
6. Fire hose reels. Fire hose reels must be installed so that a fire hose can reach each site in the caravan park or camping ground. All fire hose reels must be maintained in sound working order, and tested and tagged. Fire hose reels are to be dedicated solely for firefighting purposes and must not be used for any other purpose.
7. The council is to be provided with a certification in relation to the following Schedule of Essential Services once every calendar year. An appropriately qualified and experienced person stating that these essential fire services satisfy the minimum delivery water pressure and standards as set down in the relevant Australian Standard must provide certification. If a fire hose reel is newly installed, the certificate must be provided within 7 days of the completion of its installation. An essential services certificate is to state:
  - (a) that every fire hose reel, fire blanket, and fire hydrant has been inspected and tested by a person who is properly qualified to carry out such an inspection and test, and
  - (b) that, as at the date on which the essential fire protection equipment was inspected and tested, the equipment was found to have been capable of performing to a standard not less than that required by the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005.
  - (c) that all dwellings and relocatable homes have smoke alarms that comply with the provisions of the Environmental Planning and Assessment (Smoke Alarms) Regulation 2006.

**SCHEDULE OF ESSENTIAL SERVICES**

<b>Essential Fire or Other Safety Measures</b>	<b>Design Standard</b>	<b>Installation Standard</b>	<b>Maintenance Standard</b>
Hose Reel Systems	AS 1221 Fire Hose Reels	AS 2441 Installation of Fire Hose Reels	AS 1851.2 Maintenance of Fire Protection Equipment - Fire Hose Reels
Portable Fire Extinguishers	AS 1841.2 Portable Fire Extinguishers - water type AS 1841.3 Portable Fire Extinguishers - wet chemical type AS 1841.4 Portable Fire Extinguishers - foam type AS 1841.5 Portable Fire Extinguishers - powder type AS 1841.6 Portable Fire Extinguishers - carbon dioxide type AS 1841.7 Portable Fire Extinguishers - vaporizing liquid type	AS 2444	AS 1851.1 - Maintenance of Fire Protection Equipment - Portable Fire Extinguishers
Fire Blankets	AS 3501 Fire Blankets	AS 3501	AS 3501
Fire Hydrants	AS 2419.1 Fire Hydrants	AS 1851.1	AS 1851.4 Maintenance of Fire Protection Equipment - Fire Hydrants
Smoke Alarms: (Residence and relocatable homes only!)	AS 3786 – Smoke Alarms		AS 1851 – 2012 Routine service of fire protection systems and equipment

8. Size of dwelling sites and camp sites. As required by Clause 85 of the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005, the following minimum site areas are required to be maintained:
- A long-term site must have an area of at least 80 square metres.
  - A short-term site must have an area of at least 65 square metres.
  - A camp site must have an area of at least:
    - 40 square metres, in the case of a camp site for which a separate parking space is provided within 30 metres of the camp site; or
    - 50 square metres, in any other case.
9. In accordance with Clause 86 of the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005, a dwelling or camp site must be numbered or identified and its site boundaries clearly delineated. The site identification must be conspicuous.
10. Any new structure installed on a site must comply with requirements of the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005.
11. All existing structures on a site must comply with the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005 in regard to site separation distances prior to the Assignment of any tenancy agreements.

12. Between sunset and sunrise all access roads must be adequately lit as required by Clause 100 of the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005.
13. The water supply service must comply with the Plumbing and Drainage Code of Practice and the requirements of any relevant statutory body. Clause 101 of the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005 also requires that:
- (a) Each dwelling site be connected to the water supply; and
  - (b) Water supply connections (which includes a standpipe and hose tap) for the camp sites shall be supplied at the rate of one connection for every 4 camp sites and located so that no camp site is more than 30 metres from a connection.
14. A caravan park or camping ground that includes any short-term sites or camp sites must be provided with at least one common soil waste dump point for the disposal of closet waste from caravan holding tanks and the like. The common soil waste dump point must be located so as to permit adequate access by caravans and campervans as required by Clause 102 (3) of the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005.
15. As required by Clause 102 (5) of the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005 the sewage disposal system must comply with:
- (a) the Plumbing and Drainage Code of Practice; and
  - (b) the requirements of any relevant statutory body.
16. Electricity supply must be provided in accordance with Clause 104 of the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005, which requires that all dwelling sites be supplied with electricity from a reticulated electricity service. In the case of a long-term site, the electricity must be supplied by means of an electrical circuit connected to a separate electricity meter. Any such electrical circuit must be installed in accordance with the requirements of:
- (a) the Electricity Code of Practice, in the case of a long-term site; and
  - (a) AS 3001, in the case of a short-term site.
- If a dwelling site is provided with electricity otherwise than by way of direct connection to the local electricity supply authority's electricity main, electricity must be supplied at a rate no greater than the electricity supply authority's domestic tariff.
17. In accordance with Clause 124 of the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005, a caravan or camping ground must not be used:
- (a) for any commercial purpose other than a caravan park or camping ground or an associated purpose, or
  - (b) for the manufacture, construction or reconstruction of moveable dwellings.

This clause does not prevent the carrying out of work on a moveable dwelling that is installed in a caravan park or camping ground for the purpose of its renovation, maintenance or repair (such as painting, replacement of wall cladding or roof sheeting and the like).

18. No more than one relocatable home may be installed on a single dwelling site in accordance with Clause 137 of the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005.
19. An associated structure must not be designed or modified so as to be useable as a habitable room, as required by Clause 142 of the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005.
20. In accordance with Clause 160 of the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005, the holder of an approval to operate a caravan park or camping ground must give Council written notice of the installation of a relocatable home or associated structure within seven days after the completion of the installation.
21. Each caravan (including any associated rigid annexe), cabin and lodging must be maintained in a condition that is safe and healthy for persons to use as required by Clause 163 of the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005.
22. No more than one caravan may be installed on a single dwelling site in accordance with Clause 164 of the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005.  
Access shall be permitted at all reasonable hours to authorized council officers for the inspection and review of conditions established under this approval. A thorough inspection shall be conducted at least annually during the course of this approval.

## **REASONS**

1. To ensure compliance with the Environmental Planning and Assessment Act 1979, Local Government Act 1993; Local Government (General) Regulation 2005 and Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005.
2. To protect the environment.
3. To promote the principles of ecologically sustainable development.
4. To protect public health.
5. To protect public safety and convenience.
6. To ensure adequate fire protection measures.
7. To protect occupational health and safety.
8. To ensure compliance with the principles under the Disability Discrimination Act 1992 and ensure fair and reasonable access.
9. To protect cultural and heritage values.
10. To protect biodiversity and habitat for native flora and fauna.
11. To ensure preparation for threats from coastal processes, flooding and other extreme climatic events.

## **Right of Review and Appeal**

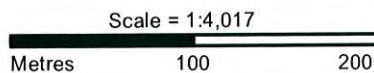
If you are aggrieved with this determination, a request for a review can be made to Council within 28 days from the date of this Notice under the provisions of Section 100 of the Local Government Act 1993. If you are dissatisfied with this decision, Section 176 of the Local Government Act 1993 gives you the right to appeal to the Land and Environment Court within 12 months from the date on the approval.

# The Terrace Holiday Park

Maps are indicative only (not surveyed)



Disclaimer : While all reasonable care has been taken to ensure the information contained on this map is up to date and accurate, no warranty is given that the information contained on this map is free from error or omission. Any reliance placed on such information shall be at the sole risk of the user. Please verify the accuracy of the information prior to using it.  
Note : The information shown on this map is a copyright of the Byron Shire Council and the NSW Department of Lands.



( Scale correct at A4 size )



8/05/2013

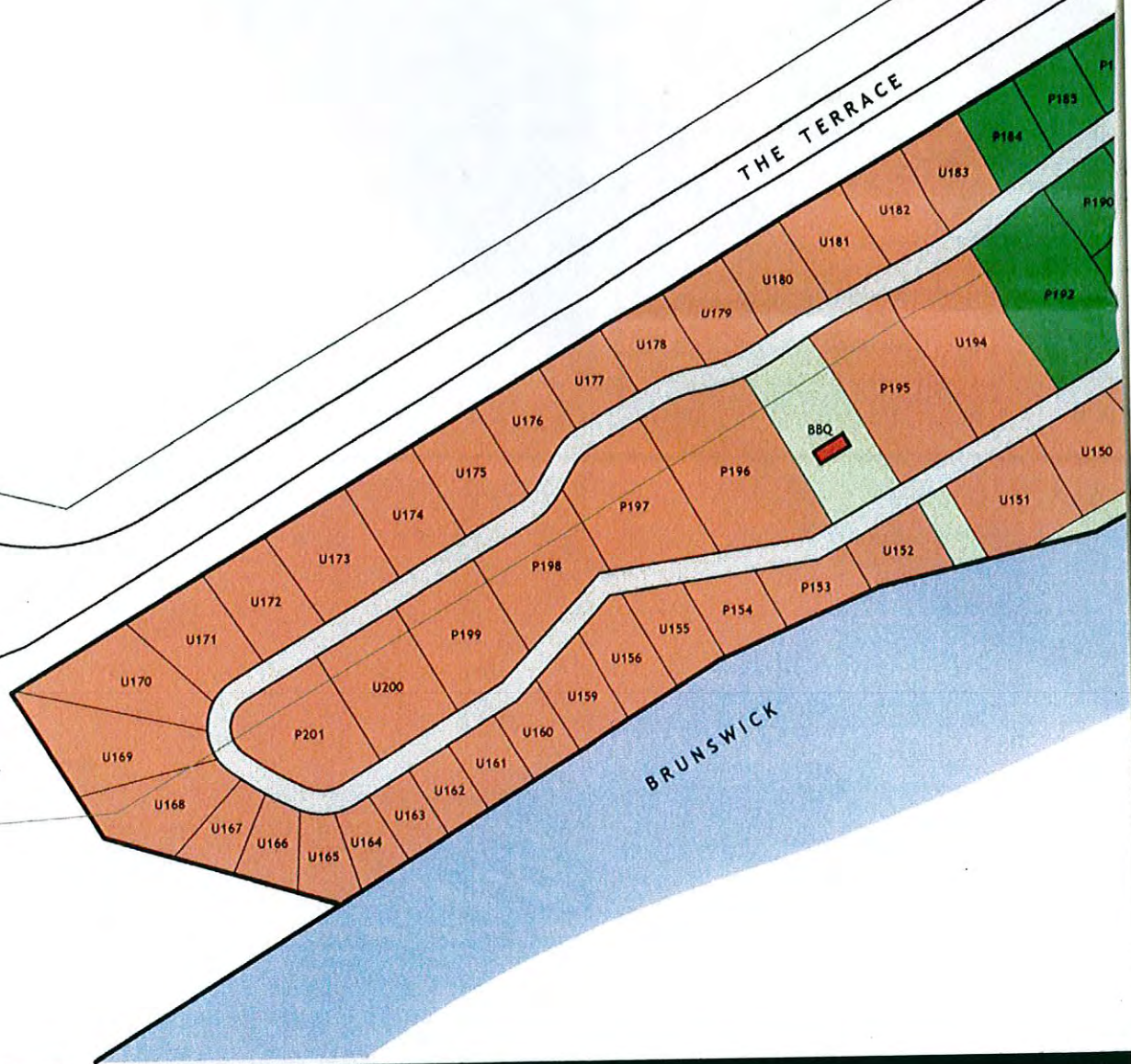


INTERIM COMMUNITY MAP

NANA STREET

THE TERRACE

BRUNSWICK



JOB NAME: THE TERRACE

DRG TITLE: INTERIM COMMUNITY MAP - SOUTHERN PRECINCT



# 6556A1  
 BYRON SHIRE COUNCIL  
**APPROVED** Map 2 of 2  
 Date 30<sup>th</sup> June 2007 *J. P. Smith*

- KEY**
- 48 TENT/CAMPING SITES (48)
  - 7 LONG-TERM SITES (44)
  - SHORT-TERM SITES (97)
  - 0 SHORT TERM SITES WITH SELF-CONTAINED MOVABLE DWELLINGS - CABINS (10)
- TOTAL SITES - SOUTHERN PRECINCT: 71  
 TOTAL APPROVED SITES ( ): 199



FINGAL STREET

BRUNSWICK HEADS POLICE & FIRE STATION

CARPARK

OFFICE

GARAGE

AMENITIES

RIVER

BRUNSWICK

#655691  
 BYRON SHIRE COUNCIL  
**APPROVED**  
 Date 30<sup>th</sup> June 2007

Map 1 of 2

KEY

- 0 TENT/CAMPING SITES (48)
- 37 LONG-TERM SITES (44)
- 81 SHORT-TERM SITES (97)
- 10 SHORT TERM SITES WITH SELF-CONTAINED MOVABLE DWELLINGS - CABINS (10)

TOTAL SITES - NORTHERN PRECINCT: 128  
 TOTAL APPROVED SITES ( ): 199

CLIENT: BYRON SHIRE HOLIDAY PARKS RESERVE TRUST JOB No: 26.34

DATE: 18th December 2006

A2 SCALE: 1:500

**isd**  
 Integrated Site Design  
 Planning Design and Management

DRG No: C-01A



INTERIM COMMUNITY MAP

LOT 403  
IN DP 728637

BRUNSWICK HEADS PUBLIC SCHOOL

LOT 313  
IN DP 702309

BOOYUN STREET

CWA HALL

PARK STREET

LOT 416  
IN DP 72

BBQ

**APPENDIX B Detailed Survey Plan of Terrace Reserve Holiday Park**

**LEGEND**

- CENTRELINE OF BITUMEN
- EDGE OF BITUMEN
- EDGE GRAVEL BICYCLE TRACK
- TOP OF BANK
- TOP OF RETAINING WALL
- BOTTOM OF RETAINING WALL
- EDGE OF VEGETATION
- EDGE OF GARDEN
- OVERHEAD POWERLINES
- SEWER LINE
- TIMBER FENCE
- KOPPERS LOG FENCE
- POST & WIRE MESH FENCE
- LAYBACK KERB & GUTTER
- UPRIGHT KERB & GUTTER

**SYMBOLS**

- MAJOR BUILDINGS
- PERMANENT CABINS
- PERMANENT CARAVAN SITES
- TEMPORARY CARAVAN SITES (CONCRETE SLABS)
- CONCRETE FOOTPATHS (CONCRETE SLABS)
- PAVING
- JUNCTION PIT
- TELSTRA PIT
- WATER METER (BOX)
- SITE POWER BOX
- TAP
- FIRE HOSE REEL

**TREES**

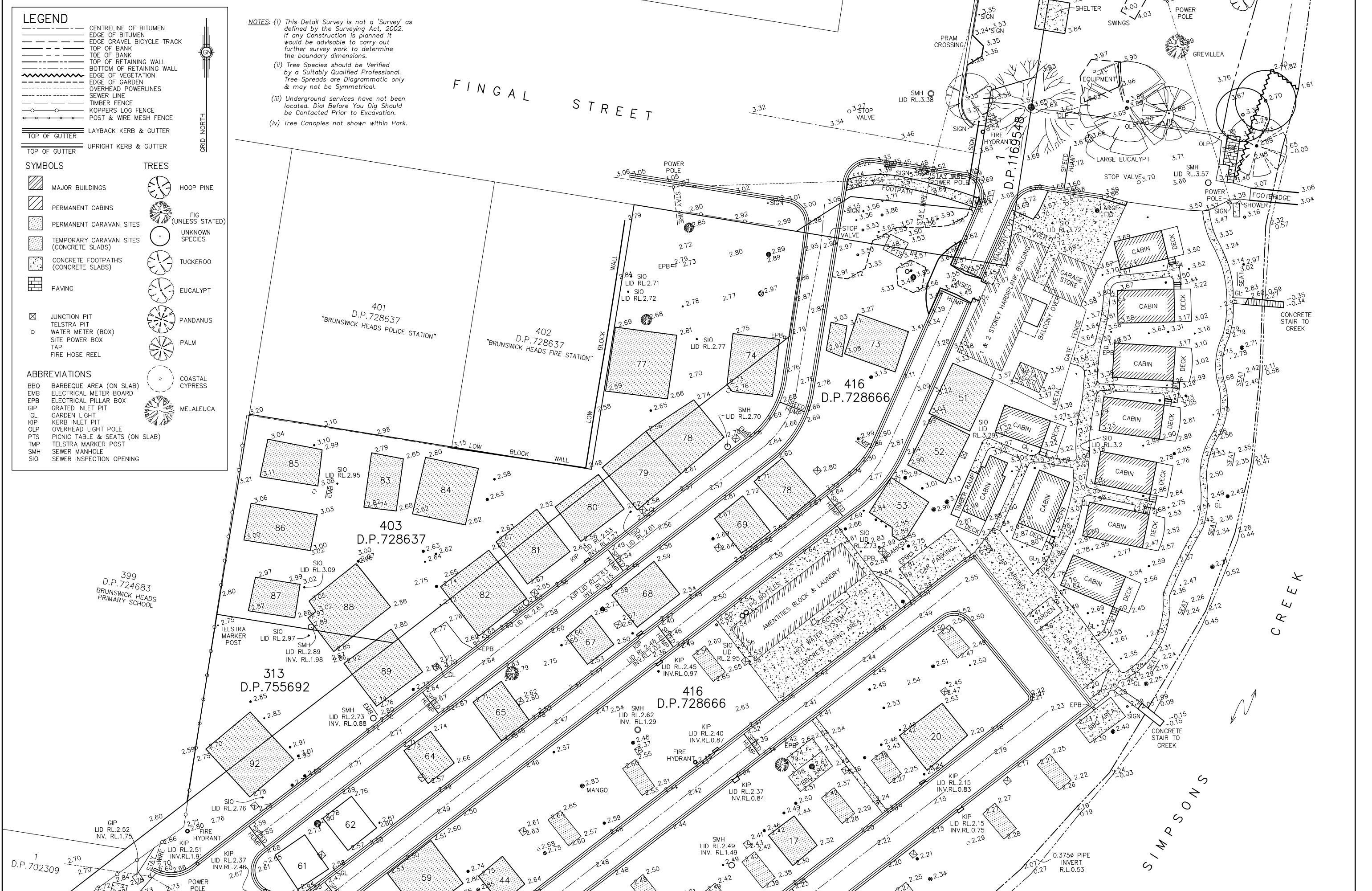
- HOOP PINE
- FIG (UNLESS STATED)
- UNKNOWN SPECIES
- TUCKEROO
- EUCALYPT
- PANDANUS
- PALM
- COASTAL CYPRESS
- MELALEUCA

**ABBREVIATIONS**

- BBO BARBEQUE AREA (ON SLAB)
- EMB ELECTRICAL METER BOARD
- EPB ELECTRICAL PILLAR BOX
- GIP GRATED INLET PIT
- GL GARDEN LIGHT
- KIP KERB INLET PIT
- OLP OVERHEAD LIGHT POLE
- PTS PICNIC TABLE & SEATS (ON SLAB)
- TMP TELSTRA MARKER POST
- SMH SEWER MANHOLE
- SIO SEWER INSPECTION OPENING

**NOTES:**

- (i) This Detail Survey is not a 'Survey' as defined by the Surveying Act, 2002. If any Construction is planned it would be advisable to carry out further survey work to determine the boundary dimensions.
- (ii) Tree Species should be Verified by a Suitably Qualified Professional. Tree Spreads are Diagrammatic only & may not be Symmetrical.
- (iii) Underground services have not been located. Dial Before You Dig Should be Contacted Prior to Excavation.
- (iv) Tree Canopies not shown within Park.



Client: -  
**NORTH COAST HOLIDAY PARKS**  
 P.O. Box 647  
 BALLINA  
 2478  
 ATT: RUSSELL CHAPLIN

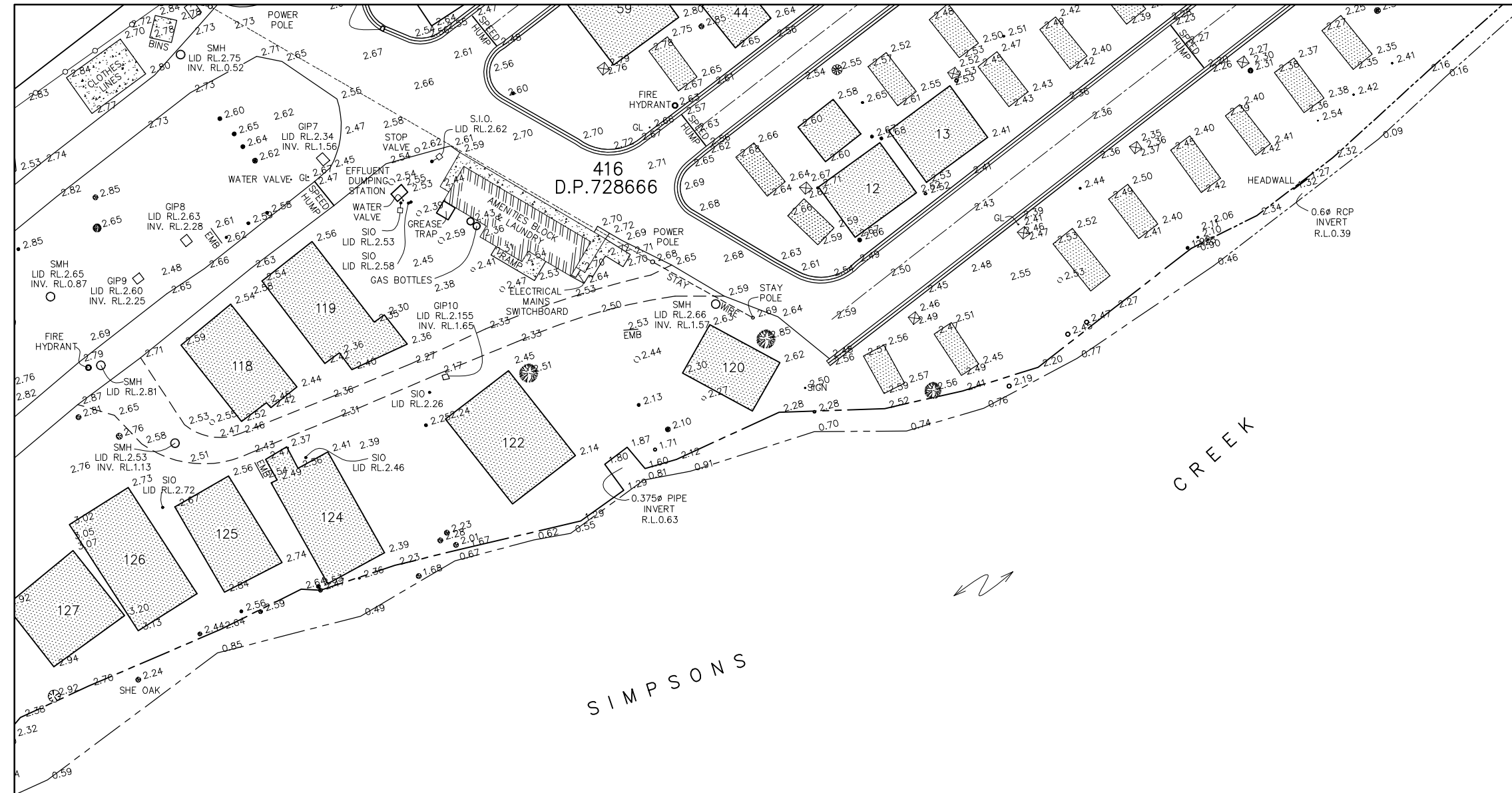
Scale: - 1:250 @ A1 size  
 Datum: - A.H.D.  
 Date: - 31st October 2012  
 Reference: - 2383a  
 File: - VP-PM 59  
 Drawn: - Cameron Barnett  
 Checked: - Scott Thompson

**Scott Thompson**  
 Surveying Pty. Ltd.  
 Trading As:  
**Canty's Surveyors**  
 ABN 49 093 101 305

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**PLAN OF DETAIL SURVEY PART**  
 LOT 416 D.P.728666, LOT 408 D.P.728643, LOT 403 D.P.728637  
 LOT 313 D.P.755692, LOT 1 D.P.1169548 & LOT 50 D.P.1169550  
 TERRACE RESERVE HOLIDAY PARK, BRUNSWICK HEADS  
 SHIRE OF BYRON  
 PARISH OF BRUNSWICK COUNTY OF ROUS

SHEET No 4  
 # of SHEETS 12  
 F/BOOKS No Notes  
 Level Origin  
 PM42205 R.L.3.307 (D.W.C)  
 Coordinate Basis  
 Assumed



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**LEGEND**

	CENTRELINE OF BITUMEN	
	EDGE OF BITUMEN	
	EDGE GRAVEL BICYCLE TRACK	
	TOP OF BANK	
	TOE OF BANK	
	TOP OF RETAINING WALL	
	BOTTOM OF RETAINING WALL	
	EDGE OF VEGETATION	
	EDGE OF GARDEN	
	OVERHEAD POWERLINES	
	SEWER LINE	
	TIMBER FENCE	
	KOPPERS LOG FENCE	
	POST & WIRE MESH FENCE	
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	UPRIGHT KERB & GUTTER	

**SYMBOLS**

	MAJOR BUILDINGS	
	PERMANENT CABINS	
	PERMANENT CARAVAN SITES	
	TEMPORARY CARAVAN SITES (CONCRETE SLABS)	
	CONCRETE FOOTPATHS (CONCRETE SLABS)	
	PAVING	
	JUNCTION PIT	
	TELSTRA PIT	
	WATER METER (BOX)	
	SITE POWER BOX	
	TAP	
	FIRE HOSE REEL	

**TREES**

	HOOP PINE
	FIG
	UNKNOWN SPECIES
	TUCKEROO
	EUCALYPT
	PANDANUS
	PALM
	COASTAL CYPRESS
	MELALEUCA

**ABBREVIATIONS**

BBQ	BARBEQUE AREA (ON SLAB)
EMB	ELECTRICAL METER BOARD
EPB	ELECTRICAL PILLAR BOX
GIP	GRADED INLET PIT
GL	GARDEN LIGHT
KIP	KERB INLET PIT
OLP	OVERHEAD LIGHT POLE
PTS	PICNIC TABLE & SEATS (ON SLAB)
TMP	TELSTRA MARKER POST
SMH	SEWER MANHOLE
SIO	SEWER INSPECTION OPENING

Client: -  
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P.O. Box 647  
BALLINA  
2478  
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Scale: - 1:250 @ A1 size  
Datum: - A.H.D.  
Date: - 31st October 2012  
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File: - VP-PM 59  
Drawn: - Cameron Barnett  
Checked: - Scott Thompson

Scott Thompson  
Surveying Pty. Ltd.  
Trading As:  
**Canty's Surveyors**  
ABN 49 093 101 305

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REGISTRATION: 124 STUART STREET, MELBOURNE, VIC 3042  
Phone: (03) 959 1009, 959 1000, 959 1001  
Fax: (03) 959 1002  
Email: info@cantysurveyors.com.au  
Website: www.cantysurveyors.com.au

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TERRACE RESERVE HOLIDAY PARK, BRUNSWICK HEADS  
SHIRE OF BYRON  
PARISH OF BRUNSWICK COUNTY OF ROUS

SHEET No 5  
# of SHEETS 12  
F/BOOKS No Notes  
Level Origin  
PM42205 R.L.3.307 (D/LWC)  
Coordinate Basis  
Assumed

**LEGEND**

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 EDGE OF BITUMEN  
 EDGE GRAVEL BICYCLE TRACK  
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 TOE OF BANK  
 TOP OF RETAINING WALL  
 BOTTOM OF RETAINING WALL  
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 TOP OF GUTTER  
 UPRIGHT KERB & GUTTER  
 TOP OF GUTTER

**SYMBOLS**

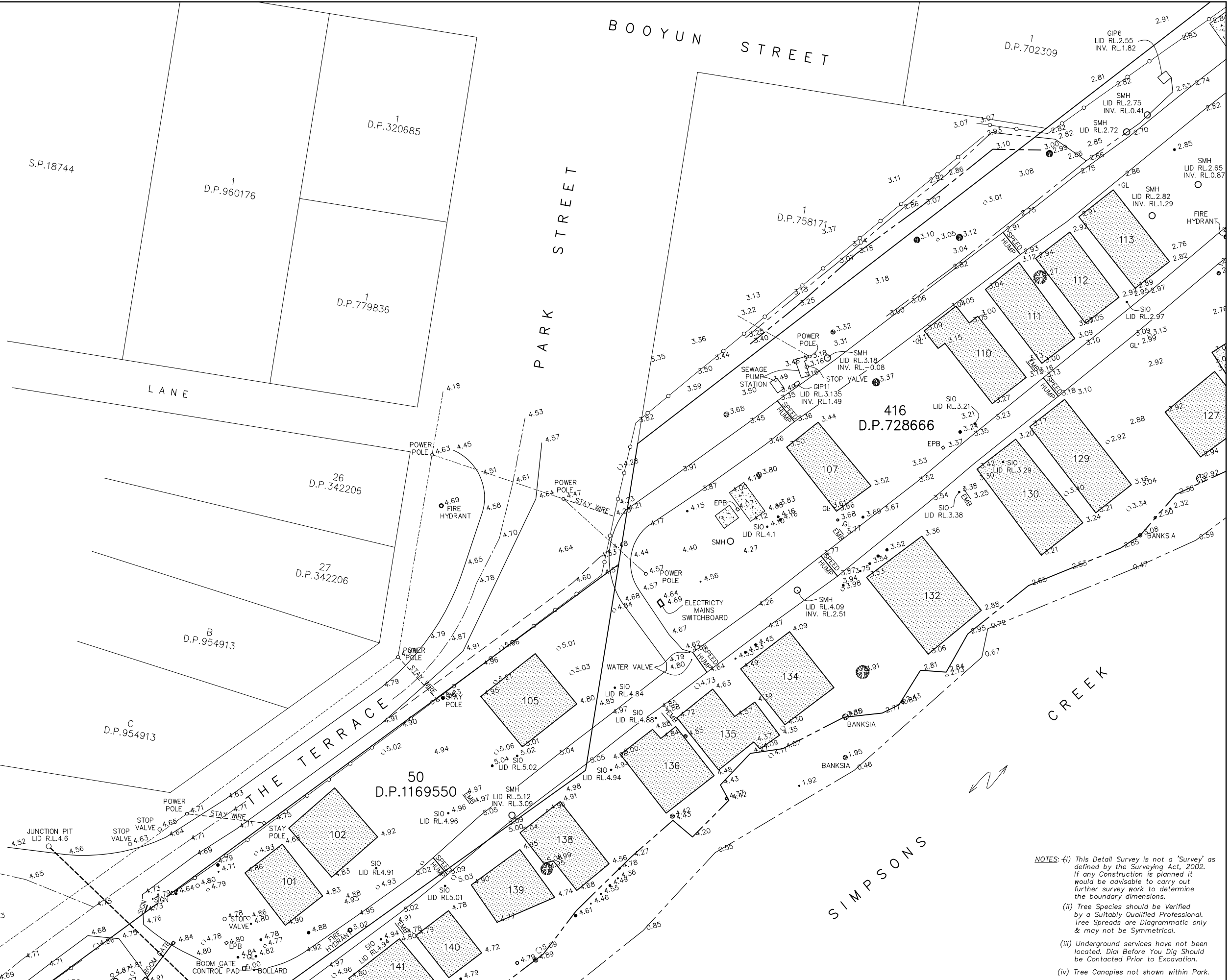
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**TREES**

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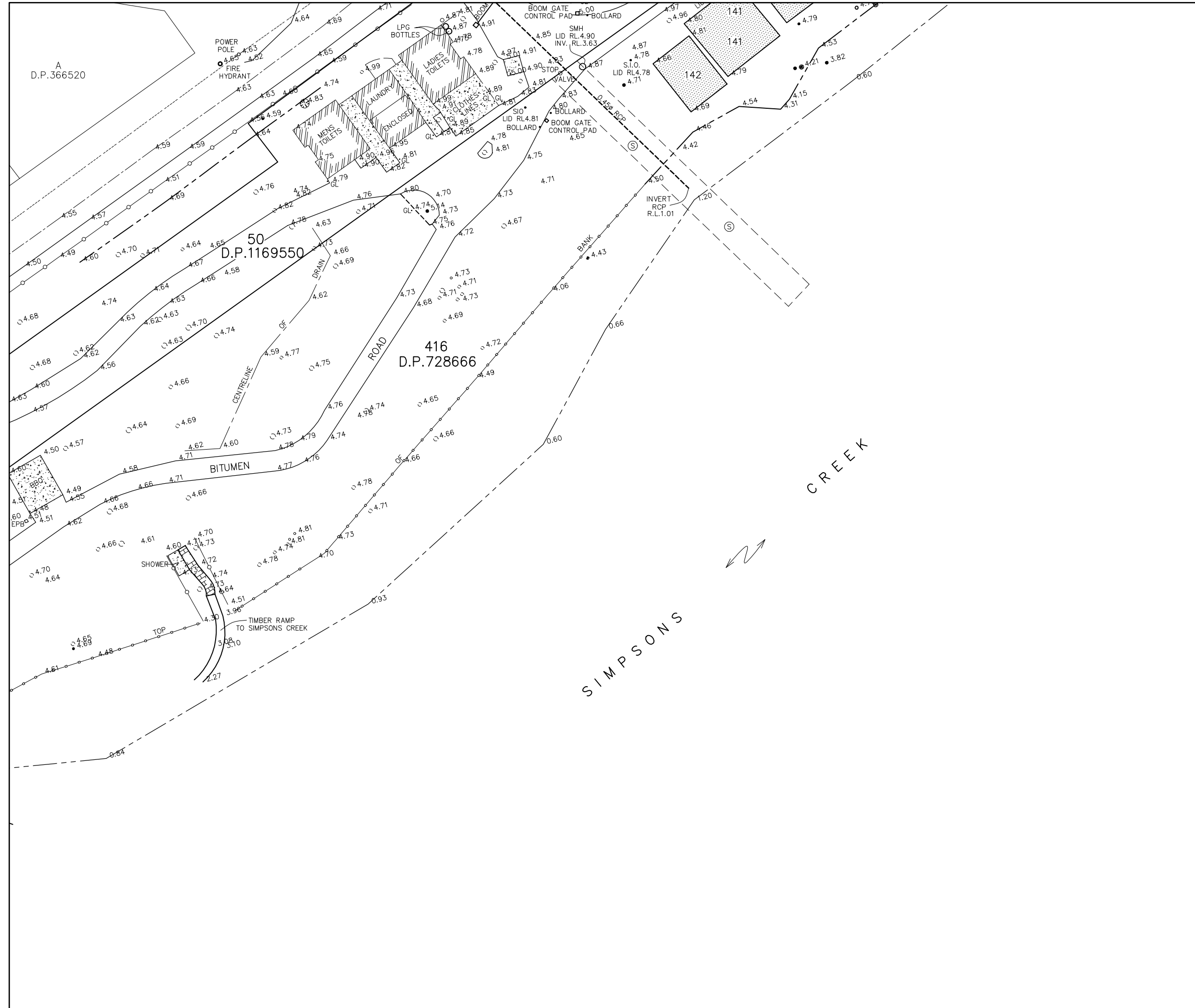
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 SHIRE OF BYRON  
 PARISH OF BRUNSWICK COUNTY OF ROUS

SHEET No 6  
 # of SHEETS 12  
 F/BOOKS No Notes  
 Level Origin  
 PM42205 R.L.3.307 (DLWC)  
 Coordinate Basis  
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Ⓢ EASEMENT FOR DRAINAGE OF WATER 4 WIDE BY D.P.1148052

**LEGEND**

	CENTRELINE OF BITUMEN		GRID NORTH
	EDGE OF BITUMEN		
	EDGE GRAVEL BICYCLE TRACK		
	TOP OF BANK		
	TOE OF BANK		
	TOP OF RETAINING WALL		
	BOTTOM OF RETAINING WALL		
	EDGE OF VEGETATION		
	EDGE OF GARDEN		
	OVERHEAD POWERLINES		
	SEWER LINE		
	TIMBER FENCE		
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	TOP OF GUTTER		
	UPRIGHT KERB & GUTTER		

<b>SYMBOLS</b>	<b>TREES</b>	
		HOOP PINE
		FIG
		UNKNOWN SPECIES
		TUCKEROO
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EPB	ELECTRICAL PILLAR BOX
GIP	GRADED INLET PIT
GL	GARDEN LIGHT
KIP	KERB INLET PIT
OLP	OVERHEAD LIGHT POLE
PTS	PICNIC TABLE & SEATS (ON SLAB)
TMP	TELSTRA MARKER POST
SMH	SEWER MANHOLE
SIO	SEWER INSPECTION OPENING

Client: -  
**NORTH COAST HOLIDAY PARKS**  
P.O. Box 647  
BALLINA  
2478  
ATT: RUSSELL CHAPLIN

Scale: - 1:250 @ A1 size  
Datum: - A.H.D.  
Date: - 31st October 2012  
Reference: - 2383a  
File: - VP-PM 59  
Drawn: - Cameron Barnett  
Checked: - Scott Thompson

Scott Thompson  
Surveying Pty. Ltd.  
Trading As:  
**Canty's Surveyors**  
ABN 49 093 101 305

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PLAN OF DETAIL SURVEY PART  
LOT 416 D.P.728666, LOT 408 D.P.728643, LOT 403 D.P.728637  
LOT 313 D.P.755692, LOT 1 D.P.1169548 & LOT 50 D.P.1169550  
TERRACE RESERVE HOLIDAY PARK, BRUNSWICK HEADS  
SHIRE OF BYRON  
PARISH OF BRUNSWICK COUNTY OF ROUS

SHEET No 7  
# of SHEETS 12  
F/BOOKS No Notes  
Level Origin  
PM42205 R.L.3.307 (DLWC)  
Coordinate Basis  
Assumed

**LEGEND**

CENTRELINE OF BITUMEN  
EDGE OF BITUMEN  
EDGE GRAVEL BICYCLE TRACK  
TOP OF BANK  
TOE OF BANK  
TOP OF RETAINING WALL  
BOTTOM OF RETAINING WALL  
EDGE OF VEGETATION  
EDGE OF GARDEN  
OVERHEAD POWERLINES  
SEWER LINE  
TIMBER FENCE  
KOPPERS LOG FENCE  
POST & WIRE MESH FENCE  
LAYBACK KERB & GUTTER  
UPRIGHT KERB & GUTTER

**SYMBOLS**

MAJOR BUILDINGS  
PERMANENT CABINS  
PERMANENT CARAVAN SITES  
TEMPORARY CARAVAN SITES (CONCRETE SLABS)  
CONCRETE FOOTPATHS (CONCRETE SLABS)  
PAVING  
JUNCTION PIT  
TELSTRA PIT  
WATER METER (BOX)  
SITE POWER BOX  
TAP  
FIRE HOSE REEL

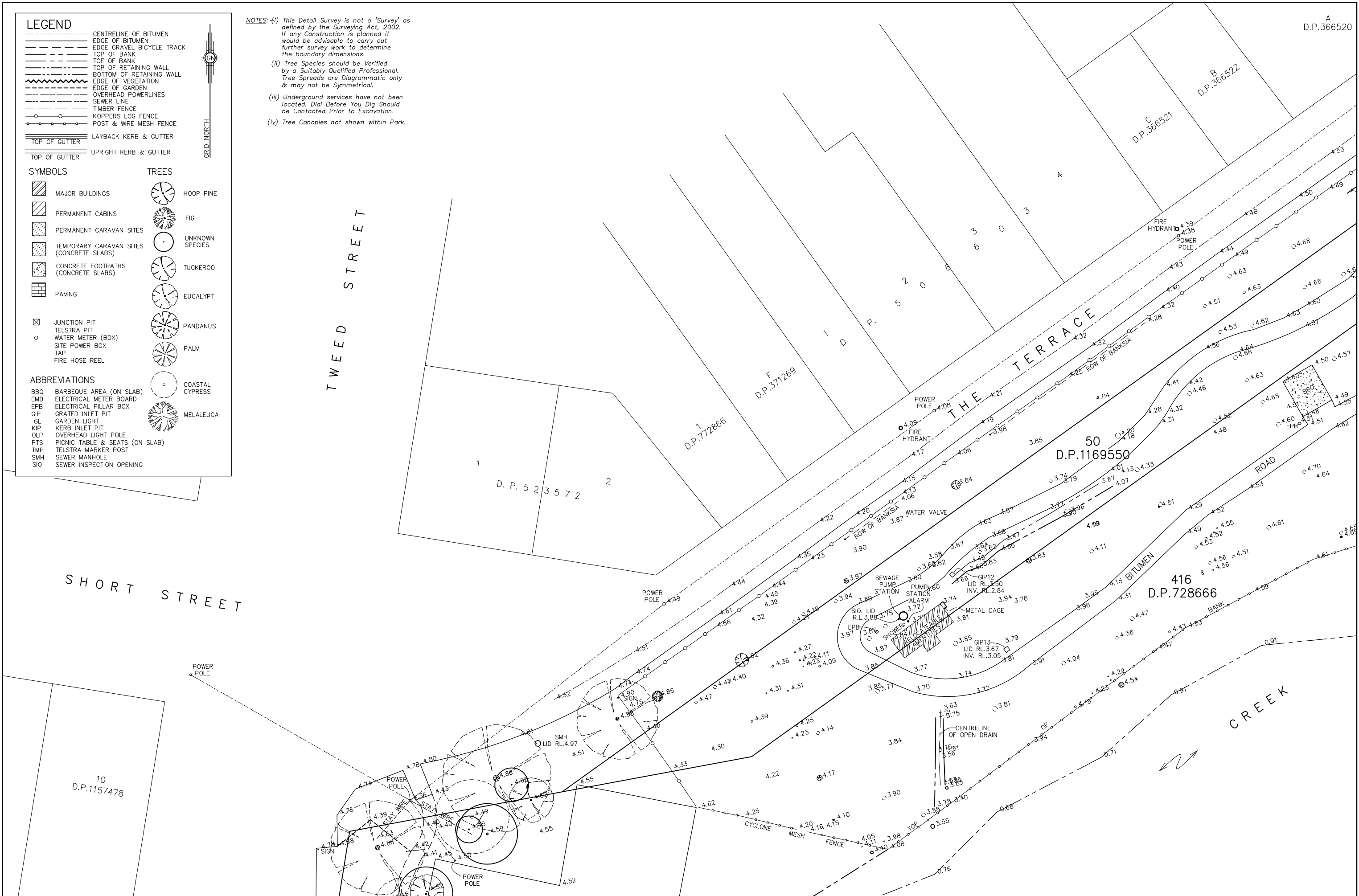
**TREES**

HOOP PINE  
FIG  
UNKNOWN SPECIES  
TUCKEROO  
EUCALYPT  
PANDANUS  
PALM  
COASTAL CYPRESS  
MELALEUCA

**ABBREVIATIONS**

BBQ BARBEQUE AREA (ON SLAB)  
EMB ELECTRICAL METER BOARD  
EPB ELECTRICAL PILLAR BOX  
GIP GRATED INLET PIT  
GL GARDEN LIGHT  
KIP KERB INLET PIT  
OLP OVERHEAD LIGHT POLE  
PTS PICNIC TABLE & SEATS (ON SLAB)  
TMP TELSTRA MARKER POST  
SMH SEWER MANHOLE  
SIO SEWER INSPECTION OPENING

**NOTES:** (i) This Detail Survey is not a 'Survey' as defined by the Surveying Act, 2002. If any Construction is planned it would be advisable to carry out further survey work to determine the boundary dimensions.  
(ii) Tree Species should be Verified by a Suitably Qualified Professional. Tree Spreads are Diagrammatic only & may not be Symmetrical.  
(iii) Underground services have not been located. Dial Before You Dig Should be Contacted Prior to Excavation.  
(iv) Tree Canopies not shown within Park.



Client: -  
**NORTH COAST HOLIDAY PARKS**  
P.O. Box 647  
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ABN 49 093 101 305

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PLAN OF DETAIL SURVEY PART  
LOT 416 D.P.728666, LOT 408 D.P.728643, LOT 403 D.P.728637  
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TERRACE RESERVE HOLIDAY PARK, BRUNSWICK HEADS  
SHIRE OF BYRON  
PARISH OF BRUNSWICK COUNTY OF ROUS

SHEET No 8  
# of SHEETS 12  
F/BOOKS No Notes  
Level Origin  
PM42205 R.L.3.307 (D/LWC)  
Coordinate Basis  
Assumed

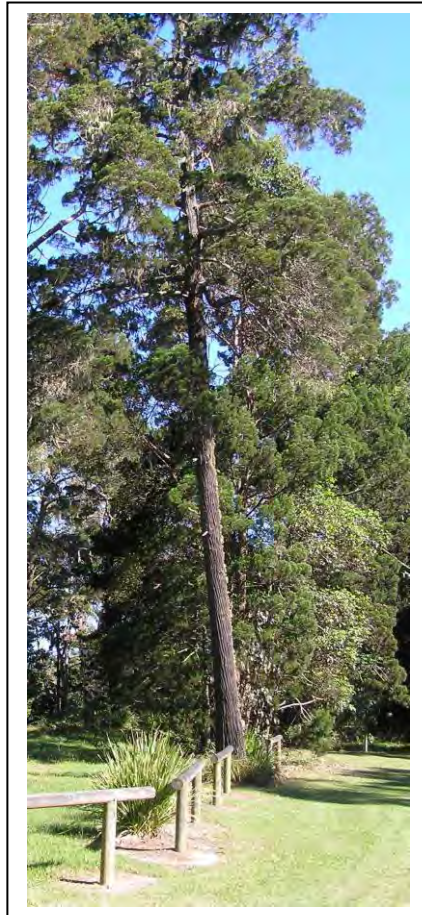


## **APPENDIX C      Vegetation Management Plans**

**Vegetation Management Plan for Terrace Reserve Holiday Park,**  
Idyll Spaces Environmental Consultants, 21 January 2011

**Vegetation and Threatened Species Assessment Report for Terrace Reserve Holiday Park,**  
Idyll Spaces Environmental Consultants, 16 December 2010

Vegetation Management Plan  
for  
Terrace Reserve Holiday Park



Prepared for the  
North Coast Accommodation Trust

by

*Idyll Spaces Environmental Consultants*

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21 January 2011

# Executive Summary

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Idyll Spaces Environmental Consultants have been engaged by the North Coast Accommodation Trust to undertake a survey of vegetation and fauna habitat and prepare a Vegetation Management Plan for native vegetation remnants in Terrace Reserve, which is located in the Byron Shire Local Government Area on the north-coast of NSW. The Trust has resolved to prepare a Vegetation Management Plan for the Terrace Reserve in conjunction with the preparation of a comprehensive Plan of Management.

Remnants of three native vegetation communities - Mangrove, Coastal Cypress Forest and Woodland and Remnant Littoral Rainforest Trees - occupy parts of the Reserve. There is also an artificial community of Lawns, Shrubberies and Specimen Trees which includes some native trees and shrubs.

These vegetation communities provide habitat elements for numerous fauna including the threatened native plant *Cryptocarya foetida* and the threatened fauna Osprey, Collared Kingfisher, Black Bittern, Beach Stone Curlew, Black-necked Stork, Rose-crowned Fruit Dove, Mangrove Honeyeater, Osprey, Koala, Eastern Tube-nosed Bat, Grey-headed Flying Fox, Greater Broad-nosed Bat and Little Bentwing Bat.

The Coastal Cypress and Littoral Rainforest Tree communities are listed as Endangered Ecological Communities (EECs) under the Threatened Species Conservation Act 1995 (TSC Act). Littoral Rainforest in Banner Park has also been identified as part of a Critically Endangered Community (CEC) under the Federal Environment Protection and Biodiversity Conservation Act 1999 (EPBC Act).

There are ongoing impacts from current usage of the Coastal Cypress and Littoral Rainforest communities. There are also impacts on the Coastal Cypress community from foreshore erosion.

There are proposals to address foreshore erosion in the Reserve and evidence that other impacts on Coastal Cypress can be appropriately managed in the Holiday Park landscape.

This Vegetation Management Plan has been prepared to facilitate long-term planning for vegetation in the Reserve, assist the Trust to allocate resources for conservation of the Coastal Cypress and Littoral Rainforest communities and to guide the selection and management of suitable areas of the Reserve for assisted regeneration of those communities..

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# 1. Introduction

---

## 1.1. Background

The North Coast Accommodation Trust has engaged Idyll Spaces Environmental Consultants to prepare a **Vegetation Management Plan** (VMP) for native vegetation remnants in Terrace Reserve. The VMP has been prepared to complement a **Landscape Masterplan** and a comprehensive **Plan of Management** for Terrace Reserve that are currently in preparation.

## 1.2. Previous documents

The Plan of Management and Landscape Masterplan are outcomes of the **Brunswick Heads Foreshore Reserves Strategic Plan** prepared by the Department of Lands in 2008. The major strategic actions in the Plan that are relevant to native vegetation are to:

- Prepare a Landscape Masterplan for the foreshore public parkland areas which addresses all major issues identified, and brings together the actions outlined for the public open space precincts.
- Prepare a Plan of Management for Terrace Reserve Holiday Park following resolution of the park boundaries through the road closure process

The Brunswick Heads Foreshore Reserves Strategic Plan is informed by previous documents including the statement of principles of crown land management outlined in the **Crown Lands Act 1989**, the strategic goals of the **Brunswick Heads Foreshore Parklands Draft Plan of Management 2002** and the 'Taking Care of Brunswick' **Brunswick Heads Community and Economic Development Strategy 2004-2009**.

The principles of crown land management provide the basis for management and administration of Crown Land in New South Wales and include:

- That environmental protection principles be observed in relation to the management and administration of Crown land;
- That the natural resources of Crown land (including water, soil, flora, fauna and scenic quality) be conserved wherever possible;
- That public use and enjoyment of appropriate Crown Land be encouraged;
- Where appropriate, Crown land should be used and managed in such a way that both the land and its resources are sustained in perpetuity.

The main principles of the 2002 draft Plan of Management are to reinforce a theme of 'simple pleasures' and to retain the sense of openness and natural beauty of the parklands.

The strategic goals of the Development Strategy 2004-2009 are to improve both the built and natural environment of Brunswick Heads to ensure that it is both functional and in keeping with the character of our low key coastal village, and to support the

needs of the community in an environmentally sustainable way in order to protect the natural ecosystems, particularly those vulnerable coastal and estuarine environs.

## 2. Description of Terrace Reserve

---

### 2.1. Assessment Methodology

Formal assessment of the conservation significance of vegetation in the Reserve included:

- A review of threatened species, population and ecological community records in the locality;
- A review of other relevant documents including aerial imagery and geomorphological mapping;
- A general terrestrial vegetation survey and list of plant species;
- Targeted searches for plant species of conservation significance area including Species listed as Threatened under New South Wales Threatened Species Conservation Act 1995 (TSC Act) or the Environment Protection and Biodiversity Conservation Act 1999 (EPBC Act) and Rare or Threatened Australian Plants;
- Review of TSC Act preliminary and final determinations;
- A description of vegetation communities and fauna habitats;
- A map of terrestrial vegetation communities, and
- A determination of the conservation status of those vegetation communities under the TSC Act and the EPBC Act.

The preparation of this report also involved:

- A review of previous planning documents pertaining to the Reserve;
- A review of the arborist's tree hazard assessment report, and
- A review of the Simpson's Creek Rehabilitation Plan and the associated Review of Environmental Factors.

### 2.2. Location & character

Terrace Reserve occupies a narrow strip of land located between the eastern edge of the town of Brunswick Heads and the estuarine south arm of the Brunswick River, known as Simpson's Creek. It is located on an old beach ridge of Pleistocene sand, elevated several metres above Simpson's Creek.

The Reserve is zoned 6(a) Open Space. It extends from just north of the Brunswick Heads Bowling Club in the south to Mullumbimbi Street in the north. There are four areas, each with different vegetation and usage. From north to south they are **Banner Park**, **Terrace Park**, **Terrace Reserve Holiday Park** and a relatively undeveloped area I refer to in this report as **Terrace Reserve South** (Figure 1).

Banner Park is a public park with amenities blocks, a row of mature Norfolk Pines along the water's edge and a stand of remnant littoral rainforest trees. Banner Park also has several large overmature eucalypts including two located on the road reserve.

Terrace Park is a public park containing some play equipment, an amenities block and sound shell. Native vegetation is limited to a few smaller fig trees, and there is a row of larger Norfolk Pines and fig trees located on the road reserve.

The Terrace Reserve Holiday Park has been divided into three more or less distinct precincts for management purposes. The **northern precinct**, north of about Booyun Street, has been cleared of most native vegetation and is at slightly lower elevation than the central and southern precincts. The area is mostly given over to short-term van sites, holiday cabins, and infrastructure such as roads, amenities blocks and the office, garage and residence. It also contains some large Figs that may have been planted as well as some other native and introduced trees and exotic shrubberies. The **central precinct** is less intensively developed and retains some native trees including Coastal Cypress. It contains long-term residents and short-term van sites. The **southern precinct**, south of about Nana Street, retains good stands of mature Coastal Cypress. It contains mostly unpowered sites used for short-term caravan and tent camping.

Terrace Reserve South is south of about Short Street and adjacent to the Old Pacific Highway and Tweed Street. It is not part of the Holiday Park. On higher ground it retains well-developed stands of Coastal Cypress amongst extensive areas of mowed grass, which is traversed by a hailstone gravel path and lighting. A large stand of mangrove occupies low-lying land to the east that is subject to tidal inundation.

Tyagarah Nature Reserve adjoins the Reserve to the east of Simpson's Creek and Brunswick Nature Reserve adjoins Terrace Reserve South to the west of Tweed Street.





Figure 1. Map showing areas, precincts and vegetation communities of Terrace Reserve

## 2.3. Biodiversity context

- The Reserve is located in a biogeographical region with internationally recognised biodiversity values.
- The region supports a high diversity of endemic species, threatened species, endangered ecological communities and species at their distributional limits.
- Although it has been substantially modified the vegetation of the Holiday Park contains environmentally and culturally significant remnant and regrowth vegetation providing potential habitat for various threatened fauna and contributing to the natural beauty of Brunswick Heads.

## 2.4. Endangered Ecological Communities

- The Coastal Cypress and Littoral Rainforest communities in the Reserve are listed as Endangered Ecological Communities (EECs) under the TSC Act.
- The stand of littoral rainforest in Banner Park also meets the size and condition thresholds for a Littoral Rainforest Critically Endangered Community (CEC) under the EPBC Act.

## 2.5. Fauna habitat resources

- There are at least 7 species of figs as well as other rainforest fruits within the Reserve that are important for frugivores (fruit eaters) including fruit pigeons & mega-chiropteran bats (grey headed and little black flying fox).
- There are at least four important nectar-producing tree species in the reserve providing nectar for nectivorous birds and bats (Forest Red Gum, Swamp Mahogany, Paperbark, Coast Banksia).
- Koala feed trees (Forest Red Gum and Swamp Mahogany) occur in the Reserve.
- A number of older rainforest, coastal cypress and eucalypt trees in the Reserve have hollows suitable for fauna.
- There is a variety of tree canopies providing foraging for insectivorous birds and bats.
- There are mudflats, sand flats and mangroves supporting abundant invertebrate fauna that is forage for fish and waterbirds.

## 2.6. Threatened species habitat

Plant communities in the Reserve are habitat for the threatened native plant *Cryptocarya foetida* and provide habitat elements (foraging, roosting or breeding) for threatened fauna including Osprey, Collared Kingfisher, Black Bittern, Beach Stone Curlew, Black-necked Stork, Rose-crowned Fruit Dove, Mangrove Honeyeater, Osprey, Koala, Eastern Tube-nosed Bat, Grey-headed Flying Fox, Greater Broad-nosed Bat and Little Bentwing Bat.

Assessments of the likelihood of occurrence of threatened Flora and Fauna are included in Tables 1 & 2.

**Table 1. Likelihood of occurrence of Threatened Flora in Terrace Reserve Holiday Park**

<b>Scientific name</b>	<b>No of records</b>	<b>TSC Status</b>	<b>Detectability</b>	<b>Essential Habitat</b>	<b>Likelihood of occurrence</b>
<i>Acacia bakeri</i>	352	Vulnerable	All year	Lowland rainforest or adjacent eucalypt forest	Unlikely - habitat requirements not met
<i>Acronychia littoralis</i>	39	Endangered	Fruit (May to August) but leaf characters indicative	littoral rainforest and adjacent open forest	Unlikely – not detected in Community 3
<i>Archidendron hendersonii</i>	75	Vulnerable	All year	Riverine and lowland subtropical rainforest and littoral rainforest	Unlikely – not detected in Community 3
<i>Corokia whiteana</i>	2	Vulnerable	All year	Boundaries between wet eucalypt forest and warm temperate rainforest up to 800m	Unlikely - habitat requirements not met
<i>Cryptocarya foetida</i>	770	Vulnerable	All year	Littoral rainforest	Possible in Community 2
<i>Davidsonia jerseyana</i>	87	Endangered	All year	rainforest, eucalypt forest and regrowth on metasediments below about 300m altitude	Unlikely - habitat requirements not met
<i>Drynaria rigidula</i>	2	Endangered	All year	rainforest, moist eucalypt or swamp forest	Unlikely - habitat requirements not met
<i>Elaeocarpus williamsianus</i>	1	Endangered	All year	subtropical or warm temperate rainforest, including regrowth and small remnants	Unlikely - habitat requirements not met
<i>Endiandra floydii</i>	85	Endangered	All year	warm temperate or subtropical rainforest with Brush Box overstorey, or in rainforest or Camphor Laurel regrowth	Unlikely - habitat requirements not met
<i>Endiandra hayesii</i>	22	Vulnerable	All year	moist gullies in lowland subtropical or warm temperate rainforest	Unlikely - habitat requirements not met
<i>Endiandra muelleri</i> subsp. <i>bracteata</i>	125	Endangered	All year	rainforest or moist eucalypt forest, usually at lower altitudes	Unlikely - habitat requirements not met
<i>Grevillea hilliana</i>	107	Endangered	All year	Subtropical rainforest	Unlikely - habitat requirements not met
<i>Harnieria hygrophiloides</i>	61	Endangered	All year	rainforest or moist open forest	Unlikely - habitat requirements not met
<i>Macadamia tetraphylla</i>	9	Vulnerable	All year	subtropical rainforest, regrowth rainforest or remnant rainforest, north of Coraki	Unlikely - habitat requirements not met
<i>Marsdenia longiloba</i>	12	Endangered	Flowering (Summer) but leaf characters indicative	Subtropical and warm temperate rainforest, adjoining moist eucalypt forest rainforest and rock outcrops	Unlikely - habitat requirements not met
<i>Randia moorei</i>	254	Endangered	All year	Subtropical, riverine, littoral and dry rainforest	Unlikely – not detected in Community 3
<i>Syzygium hodgkinsoniae</i>	13	Vulnerable	All year	Riverine and subtropical rainforest	Unlikely - habitat requirements not met
<i>Syzygium moorei</i>	99	Vulnerable	All year	Subtropical and riverine rainforest	Unlikely - habitat requirements not met
<i>Tinospora tinosporoides</i>	22	Vulnerable	All year	Wetter subtropical rainforest, including littoral rainforest	Unlikely – not detected in Community 3
<i>Xylosma terrae-reginae</i>	38	Endangered	All year	Littoral and subtropical rainforest	Unlikely – not detected in Community 3

**Table 2. Likelihood of occurrence of Threatened Fauna habitat in Terrace Reserve Holiday Park (marine species excluded)**

Class	Scientific name	Common name	Status	Habitat type	Habitat description	Occurrence in study area (Community)
Amphibia	<i>Litoria longburnensis</i>	Olongburra Frog	V	Breeding habitat	Ephemeral areas, or mirror lakes or marsh or swampy areas amongst emergent vegetation and reeds of wallum habitat (acidic tannin stained water) or adjacent to wallum habitat.	no
				Foraging habitat	Emergent low vegetation, or areas of sedges or rushes, or low foliage, adjacent to breeding habitat.	no
Amphibia	<i>Crinia tinnula</i>	Wallum Froglet	V	Shelter/roosting/refuge	Emergent vegetation of areas of breeding habitat	no
				Breeding habitat	Moist microhabitats in swamps, or wet or dry heaths, or sedge grasslands or swamps	no
Aves	<i>Pandion haliaetus</i>	Osprey	V	Shelter/roosting/refuge	As per breeding habitat	no
				Breeding habitat	Emergent living or dead trees or artificial towers within 3 km of foraging habitat	Yes (2)
Aves	<i>Todiramphus chloris</i>	Collared Kingfisher	V	Foraging habitat	Open protected water	adjoins study area
				Shelter/roosting/refuge	Structures on shorelines as vantage points for hunting and for resting	Yes (2)
Aves	<i>Botaurus poiciloptilus</i>	Australasian Bittern	E1	Breeding habitat	Usually hollows in large mangrove trees, sometimes in hollows or arboreal termite nests in <i>Eucalyptus</i> or <i>Melaleuca</i> adjacent to mangroves or estuarine foraging habitat.	Possible (1)
				Foraging habitat	Mangrove associations and other associated littoral estuarine habitats.	Yes (1)
Aves	<i>Ixobrychus flavicollis</i>	Black Bittern	V	Shelter/roosting/refuge	As breeding and foraging habitat	Yes (1)
				Breeding habitat	Emergent vegetation (eg, Phragmites, Typha) in freshwater or brackish wetlands	no
Aves	<i>Esacus neglectus</i>	Beach Stone-curlew	E4A	Foraging habitat	Freshwater or brackish wetlands, tussocky wet paddocks or drains	no
				Breeding habitat	Vegetation bordering water bodies or watercourses including Mangroves	Yes (1)
Aves	<i>Esacus neglectus</i>	Beach Stone-curlew	E4A	Foraging habitat	as per breeding habitat	Yes (1)
				Shelter/roosting/refuge	as per breeding habitat	Yes (1)
Aves	<i>Esacus neglectus</i>	Beach Stone-curlew	E4A	Breeding habitat	Marine supralittoral zone, at backs of beaches, or on sandbanks and islands, of varying substrate, among low vegetation of grass, scattered shrubs or low trees. Also among open mangroves.	Yes (1)
				Foraging habitat	Intertidal zone of beaches and estuaries, on flats, banks and spits of sand, mud or gravel; also at edges of or among mangroves.	Yes (1)

Class	Scientific name	Common name	Status	Habitat type	Habitat description	Occurrence in study area
				Shelter/roosting/refuge	During day, seen to roost in shade of trees, shrubs, fallen or beachcast timber or at edges of mangrove vegetation; on beaches, and on islands in or shores of estuaries.	Yes (1)
Aves	<i>Ephippiorhynchus asiaticus</i>	Black-necked Stork	E1	Breeding habitat	Live or dead tree within or near foraging habitat. Usually isolated, live, paddock trees in NSW, but also in paperbarks and occasionally low shrubs within wetlands.	Yes (1)
				Foraging habitat	Shallow open freshwater or saline wetlands and estuarine habitats, including swamps, floodplains, watercourses, wet heathland, wet meadows, farm dams, saltmarsh, mud- and sand-flats, mangroves.	Yes (1)
Aves	<i>Ptilinopus regina</i>	Rose-crowned Fruit-Dove	V	Shelter/roosting/refuge	As foraging and breeding habitat combined.	Yes (1)
				Breeding habitat	Wet sclerophyll forest or rainforest including remnants dominated by camphor laurel. Requires foraging habitat nearby.	no
				Foraging habitat	Fruiting plants, including introduced species, within vegetation types. Fruit between 5-25 mm diameter	Yes (3,4)
Aves	<i>Lichenostomus fasciocularis</i>	Mangrove Honeyeater	V	Shelter/roosting/refuge	As per breeding	no
				Breeding habitat	Mangrove vegetation associations of coasts, estuaries and offshore islands.	Yes (1)
				Foraging habitat	Mangrove vegetation associations and adjacent coastal vegetation or, occasionally, coastal parks and gardens.	Yes (1)
Aves	<i>Monarcha leucotis</i>	White-eared Monarch	V	Shelter/roosting/refuge	Not known.	
				Breeding habitat	Large patches of rainforest, especially drier types; wet and dry sclerophyll forests; ecotone between rainforest and other open vegetation types or edges of rainforest; regrowth forest.	no
				Foraging habitat	As breeding habitat.	no
Aves	<i>Amaurornis olivaceus</i>	Bush-hen	V	Shelter/roosting/refuge	Unknown, but almost certainly as breeding habitat.	no
				Breeding habitat	Dense vegetation >2 m tall on edges or in shallows of wetlands, streams or dams	no
				Foraging habitat	As per breeding habitat	no
				Shelter/roosting/refuge habitat	As per breeding habitat	no
Mammalia	<i>Planigale maculata</i>	Common Planigale	V	Breeding habitat	Hollow logs, under bark, rocks, cracks in soil, grass tussocks or building debris	no
				Foraging habitat	Coastal heaths, scrubs, woodlands, open forests and rainforests providing cover in the form of dense ground layers	no

Class	Scientific name	Common name	Status	Habitat type	Habitat description	Occurrence in study area
				Shelter/roosting/refuge	Hollow logs, under bark, rocks, cracks in soil, grass tussocks or building debris	no
Mammalia	<i>Phascolarctos cinereus</i>	Koala	V	Breeding habitat	eucalypt woodlands and forests	no
				Foraging habitat	Feed on the foliage of more than 70 eucalypt species and 30 non-eucalypt species; in any one area will select preferred browse species	Possible (2)
				Shelter/roosting/refuge habitat	n/a	
Mammalia	<i>Potorous tridactylus</i>	Long-nosed Potoroo	V	Breeding habitat	Rainforest or vegetation with dense understorey	no
				Foraging habitat	as per breeding habitat	no
				Shelter/roosting/refuge	as per breeding habitat	no
Mammalia	<i>Syconycteris australis</i>	Common Blossom-bat	V	Breeding habitat	Rainforest or vine thickets within proximity to foraging habitat.	no
				Foraging habitat	heathland and paperbark swamps	no
				Shelter/roosting/refuge habitat	Rainforest or vine thickets within 4km of foraging habitat.	no
Mammalia	<i>Nyctimene robinsoni</i>	Eastern Tube-nosed Bat	V	Breeding habitat	Rainforest, wet sclerophyll forest & heathlands	no
				Foraging habitat	Canopy and understorey rainforest, wet sclerophyll forest, heathland and orchards. Feeds on fleshy fruit and flowers of rainforest species Eucalypts, Banksias and other heathland species.	Yes (2, 4)
				Shelter/roosting/refuge	Tropical and subtropical rainforest, gallery forest and wet sclerophyll forest. Favours streamside habitats within coastal rainforest and moist eucalypt forests with rainforest understorey.	no
Mammalia	<i>Pteropus poliocephalus</i>	Grey-headed Flying-fox	V	Breeding habitat	Canopy trees associated with rainforest, or coastal scrub or riparian or estuarine communities and with sufficient forage resources available within 40km.	no
				Foraging habitat	Most	Yes (2, 4)
				Shelter/roosting/refuge habitat	Patches of forest with canopy trees within 40 kilometres of forage resource.	no
Mammalia	<i>Nyctophilus bifax</i>	Eastern Long-eared Bat	V	Breeding habitat	Rainforest	no
				Foraging habitat	Lowland subtropical rainforest and wet and swamp eucalypt forest, extending into adjacent moist eucalypt forest	no

Class	Scientific name	Common name	Status	Habitat type	Habitat description	Occurrence in study area
				Shelter/roosting/refuge habitat	roosts in dense tree foliage or under bark in tree hollows	no
Mammalia	<i>Scoteanax rueppellii</i>	Greater Broad-nosed Bat	V	Breeding habitat	Likely to be as per roosting habitat	Yes (2,3)
				Foraging habitat	Forests woodlands and wetlands	Yes (1,2,3)
Mammalia	<i>Miniopterus australis</i>	Little Bentwing-bat	V	Shelter/roosting/refuge habitat	Live or dead hollow-bearing trees, under exfoliating bark, or in buildings	Yes (2,3)
				Breeding habitat	Caves	no
				Foraging habitat	Moist eucalypt forest, rainforest or dense coastal banksia scrub	no
Mammalia	<i>Myotis macropus</i>	Southern Myotis	V	Shelter/roosting/refuge habitat	Caves, tunnels or tree hollows	Yes (2,3)
				Breeding habitat	Likely to be as per roosting habitat	no
				Foraging habitat	waterbodies (including streams, or lakes or reservoirs) and fringing areas of vegetation	no
				Shelter/roosting/refuge habitat	Live and dead hollow-bearing trees, under bridges or other artificial structures, in caves, or in dense foliage	no

## 2.7. Vegetation Communities

### 2.7.1. Mangrove.

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#### *Structure & Composition*

Open to dense canopy dominated by Grey Mangrove *Avicennia marina* to about 8m tall. Stands of Cottonwood *Hibiscus tiliaceus* commonly occur along the upper edge of the mangrove. No detailed survey of the mangrove community was undertaken for this report.

#### *Habitat, Ecology & Dynamics*

Grey Mangrove is confined to the intertidal zone. In the Reserve the largest stand occurs on estuarine interbarrier deposits in South Terrace Reserve (Figure 2) but elsewhere in the Reserve it is confined to a narrow strip along the edge of Simpsons Creek.

Mangroves are highly productive environments that support an abundant but not very diverse assemblage of invertebrate fauna including crustaceans, molluscs and insects. This makes them important feeding areas for vertebrate animals, particularly fish and waterbirds.

#### *Classification, Mapping & Conservation status*

The community is within the vegetation class Mangrove Swamp (Keith 2004). The Biometric Vegetation Type is 'Mangrove - Grey Mangrove low closed forest of the NSW Coastal Bioregions'.

The community is mapped (Byron LES 2008) as Grey Mangrove/River Mangrove Forest & Woodland.

The community provides habitat elements for the following threatened fauna species: Osprey, Collared Kingfisher, Black Bittern, Beach Stone Curlew, Black-necked Stork, Mangrove Honeyeater, Greater Broadnosed Bat, Little Bentwing Bat.

NSW DPI is responsible for the management of fish and marine vegetation, including mangroves, under the *Fisheries Management Act 1994* (FM Act). Any development or activity that may harm mangroves must be referred to NSW DPI for approval.

#### *Impacts*

The draft Plan of Management refers to past clearing of mangroves for access to the estuary and proposes to avoid further impacts by providing pedestrian access to appropriate access points. Access is already constrained by fencing in the southern precinct of the Holiday Park.



*Threats*

Apart from clearing for access, threats to the mangrove community appear to be limited to minor trampling associated with occasional human access and the potential for invasion of the mangrove canopy from adjoining higher land by vines and scramblers.

## 2.7.2. Coastal Cypress Pine Forest/Woodland

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*Structure & Composition*

The dominant species is Coastal Cypress Pine *Callitris columellaris*. Relatively intact stands form a more or less closed forest with a canopy to about 15m tall but in most areas the trees are more widely spaced and appear as a woodland.

Occasional other species present are typical of Coastal Dune Dry Sclerophyll Forests (*Acacia disparrima*, *Banksia integrifolia*, *Corymbia intermedia*, *Eucalyptus signata*, *Leucopogon lanceolatus*) or Littoral Rainforest (*Ficus spp*, *Acronychia imperforata*, *Cryptocarya triplinervis*, *Cupaniopsis anacardioides*, *Euroschinus falcata*, *Polyscias elegans*). Many of the dry sclerophyll forest trees are old emergent trees, whereas nearly all rainforest trees are young and confined to the understorey.

The midstratum is very sparse to absent, except in South Terrace Reserve where existing stands have been underplanted with rainforest trees. Similarly the ground layer is sparse and mostly consists of mown exotic grasses, but there are occasional grasses and herbs in unmown areas.

*Habitat, Ecology & Dynamics*

The community occurs on elevated areas of Pleistocene sands, which are generally of relatively low fertility but obtain some nutrient input from ocean salt spray.

Coast Cypress is absent from Terrace & Banner Parks and there are only 3 in the northern precinct of the Holiday Park. There are about 10 Coast Cypress in the central precinct of which at least three, evenly spaced in a line beside the amenities block, have been planted. There are numerous Coast Cypress in the southern precinct, many of which have also been planted evenly spaced in lines (Photos 1, 2). These trees are estimated as being around 50-70 years old. The most extensive natural stands are located in South Terrace Reserve.

Most Coast Cypress in the Reserve are mature and of substantial size, but there are occasional stands of younger trees along the creek bank. Many of the larger trees are approaching the end of their useful life. Recent tree hazard assessment of the Holiday Park (Finlayson 2009) identified 12 Coast Cypress requiring immediate removal because of extreme decay and threat to the public.

There is no evidence of recent regeneration of Coast Cypress in the Holiday Park, but regeneration is occurring in the more natural environment of South Terrace Reserve (Photo 3).

Seedling recruitment of Coast Cypress is thought to be a response to gaps created by small-scale disturbance (Scientific Committee 2008) and such disturbances in South Terrace reserve include erosion, construction and maintenance activities. Similar activities occur in the Holiday Park but have not resulted in regeneration, possibly because of frequent mowing, intensive foot traffic and/or the ground cover of exotic grasses.

The presence of large old eucalypts and related trees that require fire for establishment indicate that the Reserve was once subjected to bushfires. The presence of basal fire scars on some Cypress suggest that these have occurred up until the last 30-50 years or so. The presence of young fire-prone rainforest trees indicates that bushfires have not occurred since around that time. Although high-frequency fires are likely to be detrimental to the community, infrequent fires may be necessary to create the gaps required for seedling recruitment (Scientific Committee 2008).

#### *Classification & Conservation status*

The community is classified as the vegetation class Coastal Dune Dry Sclerophyll Forest (Keith 2004) and meets the criteria for the Endangered Ecological Community 'Coastal Cypress Pine Forest in the NSW North Coast Bioregion' (Scientific Committee 2008) under the provisions of the *TSC Act*.

Most of the community is mapped as 'Cypress Pine' (Byron LES 2008) but in southern parts of the Reserve it is mapped as 'Forest Red Gum', presumably because of the presence of Forest Red Gum and because Coast Cypress had not been listed as an EEC at the time mapping was undertaken.

The community provides habitat elements for the Osprey, Koala, Eastern Tubenosed Bat, Grey-headed Flying Fox, Greater Broad-nosed Bat and Little Bentwing Bat. The understorey of Community 2 is potential habitat for the threatened flora species *Cryptocarya foetida*, which is recorded from within 1km of the Reserve and common in the locality.

#### *Impacts*

In the central precinct of the Holiday Park the community has been reduced to isolated trees. Impacts have arisen because the trees that make up this community are being lost as they become old and dangerous, but in the Holiday Park there are no new trees to replace them.

Understorey vegetation in the Holiday Park has been reduced to mown lawns except on the sloping bank of Simpson's Creek, where there is some understorey regenerating following treatment of weed infestations that previously dominated this area.

Much of South Terrace Reserve has been fenced to exclude vehicles, but well-meaning persons are planting rainforest plants in areas that would have been occupied by Coastal Cypress (Photo 4).

### *Threats*

The DECC Threatened Species Profile for the Coastal Cypress EEC lists a number of threats to the community including encroachment, trampling, weed invasion and inappropriate fire regimes.

All of these threats are evident in the Reserve. Actions identified to address these threats include using defined walking tracks and fencing to avoid encroachment and trampling, undertaking weed management, and avoiding fire in this community but undertaking ecological burning where assessed as necessary for regeneration.

Some actions have already been taken in the Reserve and could be extended (fencing, weed management) and others may not be practical (fire).

## 2.7.3. Remnant Littoral Rainforest Trees

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### *Structure & Composition*

Two stands of this community occur in the study area: one small stand located in Banner Park, to about 10m tall and dominated by Hard Quandong *Elaeocarpus obovatus* together with some Tuckerroo *Cupaniopsis anacardioides* and a White Kamala *Mallotus discolor*, and a very small stand of mature trees in Terrace Park consisting of Deciduous Fig *Ficus superba*, Rusty Fig *Ficus rubiginosa* and Tuckerroo. The large Forest Red Gums adjoining the stands are included as part of the community.

Understorey vegetation is absent and ground layer consists of mowed exotic grass.

### *Habitat, Ecology & Dynamics*

The stands are apparently growing on infertile Pleistocene sands, which is unusual as littoral rainforest is usually found on the more fertile Holocene sands or soils developed on bedrock. Because of this, individual trees are smaller, slower growing and therefore more vulnerable to damage and disturbance than similar stands on more fertile soils.

Many of the trees are overmature, with five trees in Banner Park identified as in decline and requiring remedial work (Finlayson 2009). There is no recent regeneration and given the nature of existing management regeneration is unlikely.

### *Classification & Conservation status*

Classified as a littoral rainforest but not readily attributable to a sub-alliance because of the small size and depauperate nature. Littoral rainforest is listed as the EEC 'Littoral Rainforest in the NSW North Coast, Sydney Basin and South East Corner Bioregions' under the *TSC Act* and as a Critically Endangered Community (CEC)

under the *EPBC Act*. The very small stand in Terrace Park is not considered to be part of the CEC as it does not meet size and condition thresholds (Threatened Species Scientific Committee undated).

Littoral rainforest is not mapped in the Reserve (Byron LES 2008).

The community provides habitat elements for the Rose-crowned Fruit Dove, Greater Broadnosed Bat and Little Bentwing Bat.

### *Impacts*

Many of the trees are overmature and in decline. There is no recent regeneration.

The native understorey is absent from both stands and the ground layer consists of mowed exotic grass or infrastructure such as playgrounds.

Much of the stand is subject to frequent use by vehicles and pedestrians.

### *Threats*

The DECC Threatened Species Profile for the littoral rainforest EEC lists a number of threats to the community including weed invasion, clearing and fragmentation of stands, clearing or physical disturbance to the understorey and human visitation.

These threats are evident in the Reserve. Actions identified to address these threats are currently limited to undertaking weed management. Except for regulating visitor access and raising visitor awareness, published recovery strategies such as controlling feral animals and protecting from burning and grazing are irrelevant in Terrace and Banner Parks.

## 2.7.4. Lawns, shrubberies and specimen trees

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Lawns in the Reserve consist mainly of exotic grasses known for their salt tolerance, resistance to wear and ability to grow on sand. They form the ground layer to most other vegetation communities in the Reserve. Lawns are the most extensive form of vegetation throughout the Reserve.

Shrubberies are common in the Holiday Park, where they are used to screen buildings and demarcate various areas. Typical species are the exotics Golden Cane Palms and Murraya. There are also some native species such as Bottlebrush *Callistemon sp* and various rainforest trees.

Specimen trees range from the grand avenue of Norfolk Pines in Banner Park to eucalypts, paperbarks, bottlebrush, Silky Oak and native and introduced Figs.

Although they may have landscape conservation values, many of these trees have little intrinsic conservation value. The exceptions include the Figs, Paperbarks and Eucalypts, which are known to be utilised for foraging and roosting by a wide range

of mobile fauna including the threatened species Rose-crowned Fruit Dove, Eastern Tubenosed Bat and Grey-headed Flying Fox.

*Impacts*

Lawns in the Reserve are a major impediment to natural regeneration in the Coastal Cypress forest and the remnant stands of Littoral Rainforest trees.

The impact of shrubberies ranges from exacerbation of weed invasion to missed opportunities for provision of habitat attractive to native birds. The planting of Grevilleas and Bottlebrushes is also contributing to dominance of the bird fauna by the Noisy Miner, which is an aggressive bird that drives away other small birds.

The impact of the specimen trees is generally positive, although the Norfolk Pines in confined areas are contributing to soil erosion, which needs to be addressed to reduce ongoing impacts to the health and longevity of the Pines.

## 3. Vegetation management

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### 3.1. Strategic assessment

The following assessment is a summary of the issues to be considered in the management of the Reserve. It provides the basis for identifying and prioritising actions required to ensure that native vegetation in the Reserve is managed sustainably. The list is derived from this and other studies. The issues are not ranked and do not indicate priority.

#### STRENGTHS

- Natural beauty of existing mature native vegetation
- Shade and protection offered by native vegetation
- Occurrence in the Reserve of the Endangered Ecological Communities (EECs) Coastal Cypress Pine and Littoral Rainforest and habitat for threatened flora and fauna
- Existing bushland weed control program
- Existing seed collection and propagation program

#### WEAKNESSES

- Coastal Cypress EEC in the Holiday Park not regenerating
- Littoral Rainforest EEC remnants in Terrace and Banner Parks not regenerating
- Many Coastal Cypress and Littoral Rainforest trees approaching the end of their life
- Little or no native understorey vegetation
- Established environmental weeds and garden escapes
- No planting controls on residents

#### OPPORTUNITIES

- Map Critical Root Zones (CRZ)
- Map areas suitable for assisted regeneration of Coastal Cypress
- Utilise native plants characteristic of Coastal Cypress or Littoral Rainforest in landscape plans
- Undertake systematic tree replacement
- Work with adjoining landowners to control weeds
- Manage impacts of public access to native vegetation
- Manage location and duration of campers in Coastal Cypress EEC
- Arboricultural intervention to manage impacts of Reserve operation and use on trees
- Bank stabilisation works along estuary
- Public boardwalk access along the foreshore
- Removal of non-essential mown grass lawns and regeneration to native vegetation
- Apply the hierarchy of avoid, minimise and mitigate to impacts on native vegetation

## THREATS

- Piecemeal loss of native vegetation cover
- Impacts on vegetation from inappropriate use and overuse of vegetated areas
- Ongoing impacts on native vegetation resulting from capital works and maintenance
- Weed invasion from adjoining property
- Aging and decaying trees
- Trampling of native vegetation
- Mowing of understorey
- Erosion of banks of estuary

### 3.2. Laws affecting vegetation management

Clearing of native vegetation in urban areas of NSW is regulated under the *Environment Planning and Assessment Act 1979* (EPA Act) through the use of development consents and tree preservation orders.

In Byron Shire a Tree Preservation Order applies to any species of tree, palm or fern exceeding three (3) metres in height, and to any species of native plant within a community described as heath, mangrove, saltmarsh or sedgeland.

If the clearing affects a matter of national environmental significance, such as a nationally listed threatened species or a migratory species, the Commonwealth *Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act) applies.

The *EPA Act* requires that, where an activity is likely to significantly affect threatened species, populations or ecological communities, or their habitats, or critical habitat, a species impact statement must be prepared. In deciding whether there is likely to be a significant effect on threatened species, populations or ecological communities, the seven-part test of significance must be applied as set out in the *EPA Act*.

Under the *National Parks and Wildlife Act* it is an offence to *harm* any animal or *pick* any plant that is a threatened species, or which is part of an endangered population or an endangered ecological community, or its habitat. Picking includes cutting or harming any part of the plant.

There are many native species of flora and fauna which, although not threatened, still have some degree of legal protection under the (NPW Act).

Mangroves, seagrasses and other types of marine vegetation are protected under the *Fisheries Management Act 1994* (FM Act).

Other relevant acts include the *Noxious Weeds Act 1993*.

### 3.3. Future vegetation management

#### 3.3.1. Best practise and community expectations

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The initial stages of best practise management of native vegetation include Inventory, Data Collection, Mapping, and Status Assessment. These stages have been undertaken for this Vegetation Management Plan.

A further stage includes field investigations and ecological research into individual vegetation communities. This stage may be undertaken to collect information relevant to current management issues and impacts of proposals where these are located. The outcomes for the Coastal Cypress and Littoral Rainforest vegetation communities of the Reserve are outlined below.

In the case of vegetation that is a threatened species, or which is part of an endangered population or an endangered ecological community, or habitat for a threatened plant or animal species, best practise requires that a survey and assessment be undertaken to meet DECCW guidelines.

In the case of individual trees in the Reserve, best practise management focuses on tree protection measures as outlined in Australian Standard (AS) 4970.

The ultimate best practise outcome is incorporation into the Regional Vegetation Management Planning process. Meanwhile, the Community has a role to:

- sustainably manage native vegetation on land for which they and individual land managers are responsible;
- coordinate local group development and action on native vegetation management issues;
- encourage local involvement in the management of public land;
- communicate to government the native vegetation management issues of their local area;
- communicate to government the solutions to native vegetation management issues they believe are appropriate to their local area;
- participate in local and regional native vegetation management planning and programs;
- raise awareness and improve education regarding native vegetation management issues; and
- form partnerships to increase investment in local native vegetation management issues.

Local government has a responsibility for the development and implementation of locally relevant and applicable environmental policies within its jurisdiction in cooperation with other levels of government and the local community

State Governments have primary responsibility for native vegetation management, in recognition of the constitutional responsibility of the States for land use decisions



and their ownership of large areas of native vegetation. The management of parks and protected areas is largely a function of the States.

### 3.3.2. Additional information on management of Coastal Cypress and Littoral Rainforest

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#### *Coastal Cypress Pine Forest*

##### **Growth characteristics**

Coastal Cypress is easily grown from seed. It has many similar growth characteristics to White Cypress, to which it is closely related (Thompson & Eldridge 2005). The following characteristics are relevant to management of Coastal Cypress in the Reserve:

1. Cypress usually grow on soils of low nutrient status, particularly as regards Nitrogen and Phosphorous;
2. In stands containing a range of stem sizes, the smaller stems get more than their "fair share";
3. Cypress is easily grown from seed;
4. Cypress lacks the ability to self-thin, meaning that growth halts and trees can remain in this condition for considerable periods.

Characteristic 1 suggests that application of fertilisers containing N or P is not required and should be avoided. Characteristic 2 indicates that young Coastal Cypress will grow under older Coastal Cypress trees. This, in conjunction with Characteristic 3, suggests that assisted regeneration in Coastal Cypress communities should not be difficult. Characteristic 4 is of interest as it indicates that Coastal Cypress can be planted in dense stands as an effective screen or 'green fence', without ill effect.

These characteristics together make Coastal Cypress an ideal tree for use in the Holiday Park landscape. As of December 2010 following actions have been or are proposed to be undertaken to ensure the conservation, management of impacts and regeneration of the Coastal Cypress community in the Holiday Park.

##### **Seed collection and propagation**

Seed of Coastal Cypress was collected from tree in the Reserve in December 2010 and is being propagated in a local nursery for replanting into the Reserve.

##### **Mapping of critical root zones**

The location of all trees in the Holiday Park have been surveyed and mapped, and an arborist has undertaken an inspection to characterise critical root zones for Coastal Cypress trees in the Holiday Park (Izard 2010). This information will be used to identify areas where the presence of Coastal Cypress root systems are significant constraints to developments such as installation of in-ground services and construction of buildings and infrastructure in the Holiday Park.

### **Assessment and management of development impacts**

A hierarchy of measures will be applied to minimise the likelihood of significant impact on Coastal Cypress trees. A plan of the location of critical root zones will allow project planners to avoid installation or construction in critical root zones. Where critical root zones cannot be avoided the affected area of critical root zone will be minimised, and the impacts mitigated by selection of suitable construction methods and appropriate arboricultural interventions. Once impacts are assessed they will be offset by assisted regeneration of the Coastal Cypress community at suitable locations elsewhere in the Reserve.

### **Tree replacement**

Trees removed because they have become hazardous will also be replaced at suitable locations in the Reserve. Preferably a clump of seedling trees would be established near the tree well before its scheduled removal. These clumps can be progressively thinned as required to retain trees of best form and vigour.

### **Landscaping**

The mapping of critical root zones will allow landscape planners to identify those areas not required for development and therefore available for planting of new Coastal Cypress trees, which can be planted under existing trees, established in clumps that can be progressively thinned as required to meet management requirements or select for specimen trees, or established in dense linear plantings as screens and barriers.

### **Defined walking tracks**

It is proposed in the Brunswick Heads Foreshore Reserves Strategic Plan and elsewhere that defined walking tracks be constructed to provide access to and along the foreshore. This will reduce current impacts from trampling of vegetation.

### **Weed control**

Weeds listed in the Threatened Species Profile as threats to the community and occurring in the Reserve include *Asparagus aethiopicus*, *Bryophyllum delagoense*, *Lantana camara*, *Ochna serrulata* and *Schefflera actinophylla*. These and other weeds and garden escapes have already been treated and are currently under control in the Reserve, however extensive populations of those weeds still exist in proximity to the Reserve.

Management of weeds must therefore be provided for as an ongoing commitment. In those areas not required for day to day operations of the Holiday Park they must incorporate the established principles and practices of bushland regeneration, including the removal and regeneration of any areas of non-essential mown grass lawns.

### *Remnant Littoral Rainforest Trees*

Management of littoral rainforest remnant trees in Banner Park stand will eventually require tree replacement if the stand is to be retained. To maintain the character of the stand the replacement trees must be of the same species as those they are replacing.

Meanwhile to maximise the lifespan of existing trees, mulch could be applied to the critical root zone to decrease competition from grasses and maintain soil moisture and fertility, and human and other traffic excluded to reduce the impacts on soil and surface roots.

In Terrace Park any major changes to existing paved areas should be avoided, mulch applied to the critical root zone to decrease competition from grasses and maintain soil moisture and fertility, and playground activities in the critical root zone limited to the current regime.

## 3.4. Action Plan for vegetation communities in Terrace Reserve

### 3.4.1. Coastal Cypress Pine Forest and Woodland

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#### *General:*

1. Maximise the lifespan of remnant trees by providing annual arboricultural inspection, reporting and intervention as required.
2. Incorporate Coastal Cypress trees into landscaping areas and identify suitable areas for planting replacement Coastal Cypress trees to develop mixed-age stands of trees.
3. Maintain an up to date plan showing locations of existing Coastal Cypress trees and critical root zones.
4. Maintain a collection of seed and seedling plants of Coastal Cypress trees for landscaping and assisted regeneration.
5. Undertake only routine maintenance activities within the critical root zone (taken to be 5 metres from the trunk) of established Coastal Cypress. Routine activities include mowing, brush cutting, weed removal, camping etc, where there is no disturbance to the soil surface.
6. Provide suitable access down the foreshore embankment to minimise erosion and damage to Coastal Cypress understorey vegetation.

#### *Bush Regeneration, Weed Control and Landscaping:*

7. Continue control of understorey weeds and exotic grass cover, specifically targeting difficult to control weeds such as Glory Lily and Madeira Vine, to favour natural recruitment of Coastal Cypress vegetation along the creek embankment.

8. Use local native plant species which are characteristic of the Coastal Cypress vegetation community (listed in Appendix 1) for assisted regeneration and landscaping.
9. Remove non-essential lawn areas and replace with a local native species.
10. Undertake an ongoing program of removing exotics and environmental weeds from landscaped areas and replacing with native species selected from the species list in Appendix 1.
11. Minimise incursion of vehicles and pedestrians into areas of native understorey vegetation.
12. Implement planting controls on residents eg: exotics to be confined to pots.
13. Work with adjoining landowners to control weeds
14. Avoid damaging basal bark and exposed roots with brush cutters and mowers.
15. Ensure that the impact of tree pruning is appropriately assessed and that pruning is undertaken by a suitably qualified arborist.
16. Do not fertilise lawns.

*New developments:*

17. Examine alternatives to avoid or minimise impacts on Coastal Cypress trees when planning new developments.
18. Mitigate impacts of new developments by means of offsets and appropriate arboricultural interventions.
19. Prepare a Review of Environmental Factors for any non routine works which involve removal of native trees or disturbance to the soil within the critical root zone (5 metres) of any existing Coastal Cypress tree. Non routine works include any activity that involves soil disturbance such as road construction, trenching, excavation, materials storage, construction traffic, paving, new structures etc.

### 3.4.2. Lawns, shrubberies and specimen trees with remnant littoral rainforest and coast cypress trees

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20. Maximise the lifespan of remnant vegetation and mature specimen trees by providing annual arboricultural inspection, reporting and intervention as required.
21. Identify critical root zones around remnant trees and undertake no soil disturbance in this zone.
22. Remove non-essential lawn areas from critical root zones of remnant trees and replace with local native species understorey (Appendix 1).
23. Where possible apply mulch, exclude vehicular traffic and impervious paving and reduce pedestrian traffic within critical root zones of remnant trees.
24. Replace dead or dying trees in remnant littoral rainforest with the same species.
25. Use local native plant species (Appendix 1) rather than exotics wherever the native species can perform the required role in the landscape.
26. Avoid damaging basal bark and exposed roots with brush cutters and mowers.
27. Ensure ropes for tents and annexes are not secured to established trees.
28. Ensure all tree pruning is undertaken by a suitably qualified arborist.

### 3.4.3. Mangrove

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29. Provide suitable access from holiday park sites to the mangrove zone to minimise erosion and damage to mangrove vegetation.
30. Undertake weed control and bush regeneration including assisted regeneration where required.

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*National Framework for the Management and Monitoring of Australia's Native Vegetation*

## 5. Appendices

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### Appendix 1. Recommended native plant species for assisted regeneration and landscaping

The following list of plant species is derived from lists published in the EEC determination for the Coastal Cypress Pine Forest (Scientific Committee 2008), Appendix 1 of Byron Shire Council Development Control Plan No.6, and the Bush Regeneration Action Plan for Brunswick River Foreshore Parcel Number 239431 (Byron Shire Bush Regeneration Team 2008). Species not known to occur in the locality have been removed from the list.

Species listed in Cypress EEC determination are shown as 'Cypress' in the Community column of the table, and species known to occur in local littoral rainforest communities are shown as 'Littoral Rf'. The remaining species are shown as 'local'. The 'Symbol' column refers to the symbols used in Wrigley & Fagg (1996).

It is strongly recommended that:

1. within areas mapped as Community 2 Coastal Cypress Pine Forest or Community 3 Littoral Rainforest, plant species used for assisted regeneration and landscaping be drawn from the appropriate community in this list;
2. within the remainder of the Reserve, no exotic or introduced native plant species be planted if there is a local native plant species that will perform the required role in the landscape, and
3. all such plant species be propagated from plant material (seeds or cuttings) sourced from coastal sands in the locality (between approximately Ballina and Kingscliff).



**Table 3. List of native plants for assisted regeneration and landscaping of Coastal Cypress and Littoral Rainforest vegetation communities in Terrace Reserve**

<b>Scientific name</b>	<b>life form</b>	<b>common name</b>	<b>Community</b>	<b>Symbols*</b>	<b>comments</b>
<i>Corymbia intermedia</i>	large tree	pink bloodwood	Cypress	PV	
<i>Eucalyptus pilularis</i>	large tree	blackbutt	Cypress	XZ	
<i>Eucalyptus resinifera</i> subsp. <i>hemilampra</i>	large tree	red mahogany	Cypress		
<i>Eucalyptus signata</i>	large tree	scribbly gum	Cypress		
<i>Acacia disparrima</i> subsp. <i>disparrima</i>	tree	brush ironbark wattle	Cypress		
<i>Allocasuarina littoralis</i>	tree	black oak	Cypress	HLVY	
<i>Araucaria cunninghamii</i>	tree	hoop pine	Cypress	LPSWZ	
<i>Banksia integrifolia</i> subsp. <i>integrifolia</i>	tree	coast banksia	Cypress	(AB)HLQVWY(Z)	
<i>Callitris columellaris</i>	tree	coastal cypress	Cypress	HLP(Z)	
<i>Cryptocarya triplinervis</i>	rainforest tree	three-veined laurel	Littoral Rf	LOW	
<i>Elaeocarpus obovatus</i>	rainforest tree	hard quandong	Littoral Rf	FLPVZ	
<i>Euroschinus falcata</i>	rainforest tree	ribbonwood	Cypress	Z	
<i>Halfordia kendack</i>	rainforest tree	saffron heart	Cypress		
<i>Syzygium leuhmanii</i>	rainforest tree	riberry	Littoral Rf	LOPUVYZ	edible fruits
<i>Callistemon salignus</i>	small tree	willow bottlebrush	local	E(H)LOQYZ	
<i>Elaeocarpus reticulatus</i>	small tree	blueberry ash	local	FHPQV	
<i>Myoporum acuminatum</i>	small tree	mangrove boobialla	local	HUWZ	
<i>Persoonia stradbrokeensis</i>	small tree	geebung	Cypress		
<i>Syzygium oleosum</i>	small tree	blue lillypilly	Littoral Rf	LOPVZ	edible fruits
<i>Acronychia imperforata</i>	small rainforest tree	logan apple	Cypress	LUWZ	
<i>Cupaniopsis anacardioides</i>	small rainforest tree	tuckeroo	Littoral Rf	LVWYZ	
<i>Cyclophyllum longipetalum</i>	small rainforest tree	coast canthium	Cypress	FLOWWZ	aka <i>Canthium coprosmoides</i>
<i>Macaranga tanarius</i>	small rainforest tree	macaranga	local	LSZ	
<i>Mallotus discolor</i>	small rainforest tree	white kamala	Littoral Rf	LWVZ	
<i>Syzygium australe</i>	small rainforest tree	brush cherry	Littoral Rf	LOPSUVWYZ	edible fruits
<i>Banksia robur</i>	large shrub	large-leaved banksia	local	EHLOPQVZ	
<i>Hibiscus tiliaceus</i>	large shrub	cottonwood	local	WYZ	
<i>Leptospermum polygalifolium</i>	large shrub	tantoon	Cypress	HPQUZ	
<i>Notelaea longifolia</i>	large shrub	large mock-olive	Cypress	FHLUV	
<i>Synoum glandulosum</i>	large shrub	scentless rosewood	local	FLVWZ	
<i>Oxylobium robustum</i>	large shrub	tree shaggy-pea	Cypress	H	
<i>Alyxia ruscifolia</i>	medium shrub	prickly alyxia	Cypress	FHLPSVZ	
<i>Banksia aemula</i>	medium shrub			HLOPQVWZ	
<i>Breynia oblongifolia</i>	medium shrub	coffee bush	local	OZ	
<i>Leucopogon margarodes</i>	medium shrub	a beard heath	Cypress	H	
<i>Acacia ulicifolia</i>	small shrub	prickly mooses	Cypress	GHLU	
<i>Acrotriche aggregata</i>	small shrub	red cluster heath	Cypress		
<i>Austromyrtus dulcis</i>	small shrub	midyim	Cypress	CFHLZ	edible fruits
<i>Enchylaena tomentosa</i>	small shrub	ruby saltbush	local		edible fruits
<i>Leucopogon ericoides</i>	small shrub	pink beard-heath	Cypress	H	
<i>Leucopogon leptospermoides</i>	small shrub	a beard heath	Cypress	H	
<i>Zieria smithii</i>	small shrub	sandfly zieria	Cypress	HL	
<i>Hibbertia scandens</i>	twiner	guinea flower	local	AWZ	
<i>Hoya australis</i> subsp. <i>australis</i>	twiner	native hoyo	Cypress	LSWZ	
<i>Pandorea jasminoides</i>	twiner	bower vine	local	AFLPUZ	
<i>Pandorea pandorana</i>	twiner	wonga vine	local	FHLPUZ	
<i>Abildgaardia vaginata</i>	rush		Cypress		
<i>Baloskion tetraphyllum</i> subsp. <i>meiostachyum</i>	rush	plume rush	Cypress	EKLQPS	aka <i>Restio tetraphyllum</i>
<i>Isolepis nodosa</i>	rush	knobby club-rush	local	LW	
<i>Juncus kraussii</i>	rush	sea rush	local		
<i>Lomandra filiformis</i>	rush	wattle mat-rush	local		
<i>Lomandra longifolia</i>	rush	spiny-headed rush	mat Cypress	EFGHLZ	

<i>Cyperus stradbokensis</i>	sedge		Cypress		
<i>Gahnia aspera</i>	sedge	sawsedge	local	EFHLPQ	
<i>Dianella caerulea</i>	lily	flax lily	Cypress	EFHKL(VZ)	
<i>Platycerium bifurcatum</i>	epiphyte	staghorn fern	Cypress	FLPSZ	
<i>Pteridium esculentum</i>	fern	bracken fern	Cypress		
<i>Aristida calycina var. calycina</i>	grass	wire grass	Cypress		
<i>Cymbopogon refractus var. refractus</i>	grass	barbedwire grass	Cypress	KLZ	
<i>Eragrostis brownii</i>	grass	Brown's lovegrass	Cypress		
<i>Imperata cylindrica var. major</i>	grass	blady grass	Cypress		
<i>Paspalidium distans</i>	grass		Cypress		
<i>Commelina cyanea</i>	ground herb	blue wandering jew	Cypress	ABEFGZ	
<i>Pomax umbellata</i>	ground herb	pomax	Cypress		
<i>Tetragonia tetragonoides</i>	ground herb	native spinach	local	ABGW	edible leaves
<i>Chiloglottis sp.</i>	terrestrial orchid		Cypress		
<i>Pterostylis pedunculata</i>	terrestrial orchid	maroonhood	Cypress		

Key to Symbols  
(after Wrigley & Fagg  
1996)

Landscape role

A	ground cover in areas without trees or shrubs
B	ground cover in areas with occasional trees
C	taller ground covers
D	small ground covers
E	suitable for poor drainage
F	suitable for heavy shade
G	low maintenance
H	frost hardy
I	small rockery plant
J	spreading rockery plant
K	larger rockery plant
L	attractive foliage
M	die back to bulb or tuber
N	alpine
O	bird attracting
P	feature plant
Q	cur flower, foliage or fruit
R	aquatic
S	indoor /potted
T	aquarium
U	hedge or screen
V	attractive fruits
W	salt spray resistant
X	attractive bark
Y	street trees
Z	tropical areas

## Appendix 2. Photographs



Photo 1 (top) 2 (bottom) Mature Coast Cypress trees planted in rows in the southern precinct of Terrace Reserve Holiday Park



Photo 3. Coast Cypress decline vs regeneration – South Terrace reserve. One reduced to a stump, one marked for removal, two small regenerating trees.



Photo 4. Rainforest plantings in Coast Cypress habitat, South Terrace Reserve.

## Appendix 3. Plant species inventory, Terrace Reserve

Scientific name	Common name	Status	Community: 1	2	3	4
<i>Acacia disparrima</i> subsp. <i>disparrima</i>	Salwood			x		
<i>Acronychia imperforata</i>	Green Tree				x	
<i>Aegiceras corniculatus</i>	River Mangrove		x			
<i>Araucaria cunninghamii</i>	Hoop Pine					
<i>Araucaria heterophylla</i>	Norfolk Pine	Exotic				x
<i>Austromyrtus dulcis</i>	Midyim			x		
<i>Avicennia marina</i>	Grey Mangrove		x			
<i>Banksia integrifolia</i>	Coast Banksia			x		x
<i>Breynia oblongifolia</i>	Dwarves Apple			x		
<i>Callitris columellaris</i>	Coast Cypress			x		x
<i>Callsitemon salignus</i>	White Bottlebrush					x
<i>Casuarina glauca</i>	Swamp Oak		x			
<i>Cryptocarya triplinervis</i>	Three-veined Laurel					
<i>Cupaniopsis anacardioides</i>	Tuckeroo			x	x	x
<i>Dianella</i> sp	Flax Lily			x		
<i>Dodonaea triquetra</i>	Hop Bush			x		
<i>Elaeocarpus obovatus</i>	Hard Quandong				x	
<i>Elaeocarpus reticulatus</i>	Blueberry Ash			x		
<i>Eucalyptus intermedia</i>	Pink Bloodwood			x		
<i>Eucalyptus robusta</i>	Swamp Mahogany					x
<i>Eucalyptus robusta</i> x <i>tereticornis</i>						x
<i>Eucalyptus signata</i>	Scribbly Gum			x		
<i>Eucalyptus tereticornis</i>	Forest Red Gum			x		
<i>Euroschinus falcatus</i> var. <i>falcatus</i>	Ribbonwood			x		
<i>Ficus fraseri</i>	Sandpaper Fig					
<i>Ficus hillii</i>	Hills Fig	Introduced Native				x
<i>Ficus macrocarpa</i>	Moreton Bay Fig					x
<i>Ficus obliqua</i>	Small-leaved Fig			x		x
<i>Ficus rubiginosa</i>	Rusty Fig				x	x
<i>Ficus virens</i>	White Fig			x		
<i>Ficus superba</i>	Deciduous fig				x	
<i>Glochidion sumatranum</i>	Umbrella Cheese Tree			x		x
<i>Guioa semiglauca</i>				x		
<i>Hibiscus tiliaceus</i>	Cottonwood		x			
<i>Jagera pseudorhus</i> var. <i>pseudorhus</i>	Foambark			x		
<i>Leucopogon lanceolatus</i>	Sand Heath			x		
<i>Leucopogon leptospermoides</i>				x		
<i>Leucopogon margarodes</i>				x		
<i>Lomandra longifolia</i>	Mat Rush			x		
<i>Lophostemon confertus</i>	Brush Box			x		x
<i>Lophostemon suaveolens</i>	Swamp Box			x		
<i>Macaranga tanarius</i>						
<i>Mallotus discolor</i>	White Kamala				x	
<i>Melalauca quinquenervia</i>	Broadleaved Paperbark					x
<i>Ottochloa gracillima</i>	Soft Grass			x		
<i>Polyscias elegans</i>	Silver Basswood			x		
<i>Rhodomyrtus psidiodes</i>	Native Guava			x		
<i>Smilax australis</i>	Prickly Smilax			x		
<i>Syzygium australe</i>	Lillypilly					x

**Weeds:**

<i>Ageratina adenophora</i>	Crofton Weed	Noxious Weed W4	x	
<i>Anredera cordifolia</i>	Madeira Vine	Environmental Weed	x	
<i>Bryophyllum sp</i>	Mother of Millions	Environmental Weed	x	
<i>Callisia spp</i>	Striped Inch Plant	Environmental Weed	x	
<i>Cinnamomum camphora</i>	Camphor Laurel	Noxious Weed W4	x	
<i>Commelina benghalensis</i>	Hairy Commelina	Environmental Weed	x	
<i>Gloriosa superba</i>	Glory Lily	Environmental Weed	x	
<i>Ipomoea sp</i>	Morning Glory	Environmental Weed	x	
<i>Lantana camara</i>	Lantana	Noxious Weed W4	x	
<i>Ligustrum lucidum</i>	Small-leaved Privet	Environmental Weed	x	
<i>Megaskepasma erythrochlamys</i>	Brazilian Cloak	Environmental Weed	x	
<i>Murraya paniculata</i>	Murraya	Environmental Weed	x	x
<i>Nephrolepis cordifolia</i>	Fishbone Fern	Environmental Weed	x	
<i>Ochna serrulata</i>	Mickey Mouse Plant	Environmental Weed	x	
<i>Philodendron sp</i>		Environmental Weed	x	
<i>Protasparagus aethiopicus</i>	Asparagus Fern	Environmental Weed	x	
<i>Sansevieria trifasciata</i>	Mother-in-laws Tongue	Environmental Weed	x	
<i>Schefflera actinophylla</i>	Umbrella Tree	Environmental Weed	x	x
<i>Syngonium sp</i>		Environmental Weed	x	

# Vegetation & Threatened Species Assessment Report: Terrace Reserve Holiday Park:

Prepared for

North Coast Holiday Parks

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The information presented in this report is, in the opinion of the author, a true and accurate record based on an objective study undertaken in response to a brief provided by the client. While every attempt has been made to ensure the accuracy and objectivity of the report, the variability of the natural environment and the paucity of comparative research data may require that professional judgement be applied in reaching conclusions. Any opinions expressed in the report are the professional opinions of the author. They are not intended to advocate any specific proposal or position. Except where noted in 'Limitations' this report meets DEC draft survey guidelines.

G.N. Elks B.Sc (Botany), M.Litt (Ecology), MECA, Idyll Spaces Consultants



# Executive Summary

The North Coast Accommodation Trust has engaged Greg Elks of Idyll Spaces Consultants to undertake a survey and assessment of vegetation in Terrace Reserve.

Four vegetation communities - Mangrove, Coast Cypress Forest/Woodland, Remnant Littoral Rainforest Trees and a mixed community of Lawns, Shrubberies and Specimen Trees - occupy those parts of the Reserve not occupied by van sites, holiday cabins, and infrastructure such as roads, amenities blocks, office, garage and residence.

The Coast Cypress Forest/Woodland and Remnant Littoral Rainforest Tree communities fulfil the criteria for Endangered Ecological Communities listed under the *Threatened Species Conservation Act*. The stand of littoral rainforest in Banner park also meets the size and condition thresholds for a Critically Endangered Community under the *Environmental Protection and Biodiversity Conservation Act*.

The Reserve also contains habitat for the threatened native plant *Cryptocarya foetida* and threatened fauna including Osprey, Collared Kingfisher, Black Bittern, Beach Stone Curlew, Black-necked Stork, Rose-crowned Fruit Dove, Mangrove Honeyeater, Osprey, Koala, Eastern Tube-nosed Bat, Grey-headed Flying Fox, Greater Broad-nosed Bat and Little Bentwing Bat.

There are ongoing development pressures within the Coast Cypress community and there is evidence that impacts on Coast Cypress can be appropriately managed in the Holiday Park landscape.

It is recommended that a Vegetation Management Plan be prepared to guide the location and management of suitable areas of the Reserve for assisted regeneration of Coast Cypress, including where appropriate its characteristic understorey vegetation, to ensure that the Coast Cypress community is conserved and enhanced for future generations.

It is recommended that an environmental management system based on the specific environmental values, obligations and risks in the Reserve be prepared as soon as possible so as to minimise the potential for significant impacts on threatened species, populations or ecological communities, or their habitats.

Meanwhile, to ensure threatened native plants, animals and habitats on reserve trust land are not harmed, damaged, taken or killed, no pruning or lopping of native trees or shrubs is to be permitted except under the provisions of a documented environmental assessment or environmental management system, and by a qualified and insured arborist.

# Introduction

## Background

The North Coast Accommodation Trust has engaged Greg Elks of Idyll Spaces Consultants to undertake an assessment of native terrestrial vegetation in Terrace Reserve, Terrace Park and Banner Park in preparation for establishment of an Environmental Management System and a Vegetation Management Plan.

## The Brief

The assessment will:

- Review threatened species, population and ecological community records in the locality.
- Undertake general terrestrial vegetation survey and list plant species including any threatened species occurring in the reserve.
- Undertake searches for plant species of conservation significance likely to occur in that area including Rare or Threatened Australian Plants, and Species listed as Threatened under New South Wales *Threatened Species Conservation Act 1995* (TSC Act) or the *Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act).
- Describe vegetation communities and fauna habitats.
- Map terrestrial vegetation communities.
- Determine conservation status of vegetation communities under the TSC Act and the EPBC Act .
- Provide recommendations for conservation and maintenance of terrestrial vegetation communities.

## Study area description

The study area occupies a Public Reserve on a narrow strip of land located between the eastern edge of the town of Brunswick Heads and the estuarine south arm of the Brunswick River, known as Simpson's Creek (Figure 1). It is located on an old beach ridge of Pleistocene sand, elevated several metres above Simpson's Creek (Figure 2).

The Reserve is zoned 6(a) Open Space. It extends from just north of the Brunswick Heads Bowling Club in the south to Mullumbimbi Street in the north. There are four areas, each with different vegetation and usage. From north to south they are Banner Park, Terrace Park, Terrace Reserve Holiday Park and an area I refer to as Terrace Reserve South (Figure 3).



**Figure 1. Study area and location**  
*Vegetation of Terrace Reserve Holiday Park*

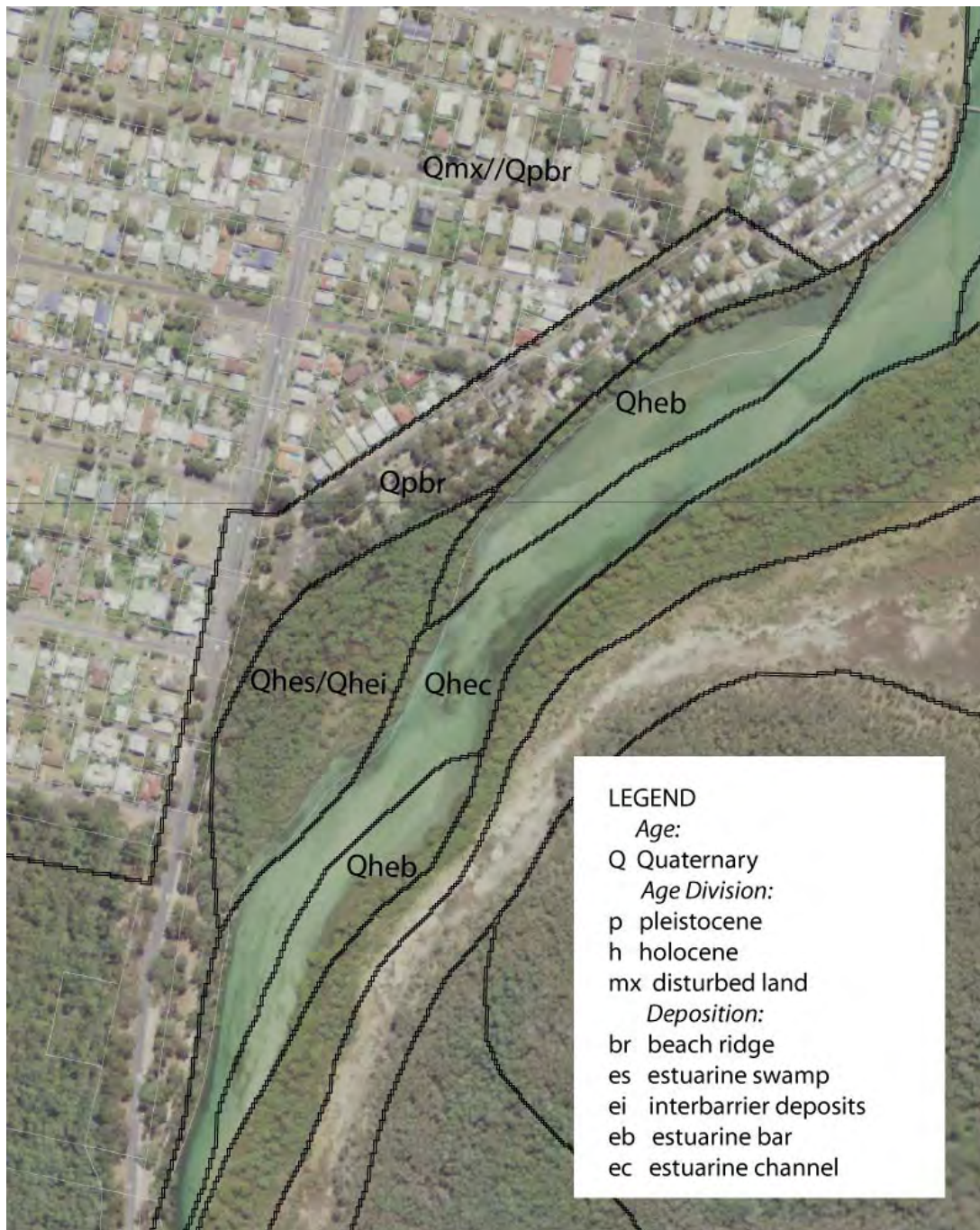


Figure 2. Geomorphology of the Terrace reserve area (after Troedson & Hashimoto 2005)

Banner Park is a public park with amenities blocks, a row of mature Norfolk Pines along the water's edge and a stand of remnant littoral rainforest trees. Banner Park also has several large overmature eucalypts including two located on the road reserve.

Terrace Park is a public park containing some play equipment, an amenities block and a sound shell. Native vegetation is limited to a few smaller fig trees, and there is a row of larger Norfolk Pines and fig trees located on the road reserve.

The Terrace Reserve Holiday Park has been divided into three more or less distinct precincts for management purposes (Figure 3). The northern precinct, north of about Booyun Street, has been cleared of most native vegetation and is at slightly lower elevation than the central and southern precincts. The area is mostly given over to short-term van sites, holiday cabins, and infrastructure such as roads, amenities blocks and the office, garage and residence. It also contains some large Figs and Silky Oaks that have been planted as well as some smaller native trees and exotic shrubberies. The central precinct is less intensively developed and retains some native trees including Coast Cypress. It contains long-term residents and short-term van sites. The southern precinct, south of about Nana Street, retains good stands of mature Coast Cypress. It contains mostly unpowered sites used for short-term caravan and tent camping.

Terrace Reserve South is south of about Short Street and adjacent to the Old Pacific Highway and Tweed Street. It is not part of the Holiday Park. On higher ground it retains well-developed stands of Coast Cypress amongst extensive areas of mowed grass, which is traversed by a hailstone gravel path and lighting. A large stand of mangrove occupies low-lying land to the east that is subject to tidal inundation.

Tyagarah Nature Reserve adjoins the Reserve to the east of Simpson's Creek and Brunswick Nature Reserve adjoins Terrace Reserve South to the west of Tweed Street.

## Assessment Methodology

Records of threatened species, populations or communities as listed under the TSC Act known to occur within 3km of the study area were extracted from the Wildlife Atlas database for the Ballina 1:100,000 map sheets (DECCW 09/11/10). Species recorded and the likelihood of these species or their habitat occurring in the study area is assessed in Tables 1 (Flora) and 2 (Fauna).

Initial field survey was undertaken over 5 hours on 18 October 2010 when terrestrial vegetation communities occupying the Park were sampled, identified and searched for threatened flora species. Further field survey was undertaken over 4 hours on 8 December 2010 and vegetation communities were mapped onto an orthorectified aerial image obtained online from the LPMA Spatial Information Exchange (Figure 3).

Vegetation communities were surveyed using meander searches. Most parts of each terrestrial community were examined, but search for threatened flora focused on areas with intact understorey vegetation and on tree species elsewhere.



Figure 3. Native vegetation communities of Terrace Reserve

## Limitations

Survey did not utilise formal plots because of the small size and dispersed nature of vegetation remnants. The mangrove community was not surveyed because threatened flora are unlikely to occur there and the area is not likely to be modified by development. These are not considered to be significant limitations.

## Vegetation Communities

### 1. Mangrove.

#### *Structure & Composition*

Open to dense canopy dominated by Grey Mangrove *Avicennia marina* to about 8m tall. Stands of Cottonwood *Hibiscus tiliaceus* commonly occur along the upper edge of the mangrove. No detailed survey of the mangrove community was undertaken for this report.

#### *Habitat, Ecology & Dynamics*

Grey Mangrove is confined to the intertidal zone. In the Reserve the largest stand occurs on estuarine interbarrier deposits in South Terrace Reserve (Figure 2) but elsewhere in the Reserve it is confined to a narrow strip along the edge of Simpsons Creek.

Mangroves are highly productive environments that support an abundant but not very diverse assemblage of invertebrate fauna including crustaceans, molluscs and insects. This makes them important feeding areas for vertebrate animals, particularly fish and waterbirds.

#### *Classification, Mapping & Conservation status*

The community is within the vegetation class Mangrove Swamp (Keith 2004). The Biometric Vegetation Type is 'Mangrove - Grey Mangrove low closed forest of the NSW Coastal Bioregions'.

The community is mapped (Byron LES 2008) as Grey Mangrove/River Mangrove Forest & Woodland.

The community provides habitat elements for the following threatened fauna species: Osprey, Collared Kingfisher, Black Bittern, Beach Stone Curlew, Black-necked Stork, Mangrove Honeyeater, Greater Broadnosed Bat, Little Bentwing Bat.

NSW DPI is responsible for the management of fish and marine vegetation, including mangroves, under the *Fisheries Management Act 1994* (FM Act). Any development or activity that may harm mangroves must be referred to NSW DPI for approval.

## 2. Coastal Cypress Pine Forest/Woodland

### *Structure & Composition*

Confined to the southern parts of the Reserve. The dominant species is Coastal Cypress Pine *Callitris columellaris*. Relatively intact stands form a more or less closed forest with a canopy to about 15m tall but in most areas the trees are more widely spaced and appear as a woodland.

Occasional other species present are typical of Coastal Dune Dry Sclerophyll Forests (*Acacia disparrima*, *Banksia integrifolia*, *Corymbia intermedia*, *Eucalyptus signata*, *Leucopogon lanceolatus*) or Littoral Rainforest (*Ficus spp*, *Acronychia imperforata*, *Cryptocarya triplinervis*, *Cupaniopsis anacardioides*, *Euroschinus falcata*, *Polyscias elegans*). Many of the dry sclerophyll forest trees are old emergent trees, whereas nearly all rainforest trees are young and confined to the understorey.

The midstratum is very sparse to absent, except in South Terrace Reserve where existing stands have been underplanted with rainforest trees. Similarly the ground layer is sparse and mostly consists of mown exotic grasses, but there are occasional grasses and herbs in unmown areas.

### *Habitat, Ecology & Dynamics*

The community occurs on elevated areas of Pleistocene sands (Figure 2), which are generally of relatively low fertility but obtain some nutrient input from ocean salt spray.

Coast Cypress is absent from Terrace & Banner Parks and there are only 3 in the northern precinct of the Holiday Park. There are about 10 Coast Cypress in the central precinct of which at least three, evenly spaced in a line beside the amenities block, have been planted. There are numerous Coast Cypress in the southern precinct, many of which have also been planted evenly spaced in lines (Photos 1, 2). These trees are estimated as being around 50-70 years old.

Most Coast Cypress in the Reserve are mature and of substantial size, but there are occasional stands of younger trees along the creek bank. Many of the larger trees are approaching the end of their useful life. Recent tree hazard assessment of the Holiday Park (Finlayson 2009) identified 12 Coast Cypress requiring immediate removal because of extreme decay and threat to the public.

There is no evidence of recent regeneration of Coast Cypress in the Holiday Park, but regeneration is occurring in the more natural environment of South Terrace Reserve (Photo 3). Much of South Terrace Reserve has been fenced to exclude vehicles, but well-meaning persons are planting rainforest trees in areas that would have been occupied by Coast Cypress (Photo 4).



Seedling recruitment of Coast Cypress is thought to be a response to gaps created by small-scale disturbance (Scientific Committee 2008) and such disturbances in South Terrace reserve include erosion, construction and maintenance activities. Similar activities occur in the Holiday Park but have not resulted in regeneration, possibly because of frequent mowing, intensive foot traffic and/or the ground cover of exotic grasses.

The presence of large old eucalypts and related trees that require fire for establishment indicate that the Reserve was once subjected to bushfires. The presence of basal fire scars on some Cypress suggest that these have occurred up until the last 30-50 years or so. The presence of young fire-prone rainforest trees indicates that bushfires have not occurred since around that time. Although high-frequency fires are likely to be detrimental to the community, infrequent fires may be necessary to create the gaps required for seedling recruitment (Scientific Committee 2008).

### *Classification & Conservation status*

The community is classified as the vegetation class Coastal Dune Dry Sclerophyll Forest (Keith 2004) and meets the criteria for the Endangered Ecological Community 'Coastal Cypress Pine Forest in the NSW North Coast Bioregion' (Scientific Committee 2008) under the provisions of the *TSC Act*.

Most of the community is mapped as 'Cypress Pine' (Byron LES 2008) but in southern parts of the Reserve it is mapped as 'Forest Red Gum', presumably because of the presence of Forest Red Gum and because Coast Cypress had not been listed as an EEC at the time mapping was undertaken.

The community provides habitat elements for the Osprey, Koala, Eastern Tubenosed Bat, Grey-headed Flying Fox, Greater Broad-nosed Bat and Little Bentwing Bat. The understorey of Community 2 is potential habitat for the threatened flora species *Cryptocarya foetida*, which is recorded from within 1km of the Reserve and common in the locality.

## 3. Remnant Littoral Rainforest Trees

### *Structure & Composition*

Two stands of this community occur in the study area: one small stand located in Banner Park, to about 10m tall and dominated by Hard Quandong *Elaeocarpus obovatus* together with some Tuckeroo *Cupaniopsis anacardioides* and a White Kamala *Mallotus discolor*, and a very small stand of mature trees in Terrace Park consisting of Deciduous Fig *Ficus superba*, Rusty Fig *Ficus rubiginosa* and Tuckeroo. The large Forest Red Gums adjoining the stands are included as part of the community.

Understorey is absent and ground layer consists of mowed exotic grass.

### *Habitat, Ecology & Dynamics*

Occur on old sand dunes. Many of the trees are overmature, with five trees in Banner Park identified as in decline and requiring remedial work (Finlayson 2009). There is no recent regeneration and given the nature of existing management regeneration is unlikely.

### *Classification & Conservation status*

Classified as a littoral rainforest but not readily attributable to a sub-alliance because of the small size and depauperate nature. Littoral rainforest is listed as the EEC 'Littoral Rainforest in the NSW North Coast, Sydney Basin and South East Corner Bioregions' under the *TSC Act* and as a Critically Endangered Community (CEC) under the *EPBC Act*. The very small stand in Terrace Park is not considered to be part of the CEC as it does not meet size and condition thresholds (Threatened Species Scientific Committee undated).

Littoral rainforest is not mapped in the Reserve (Byron LES 2008).

The community provides habitat elements for the Rose-crowned Fruit Dove, Greater Broadnosed Bat and Little Bentwing Bat.

## 4. Lawns, shrubberies and specimen trees

Lawns in the Reserve consist mainly of exotic grasses known for their salt tolerance, resistance to wear and ability to grow on sand. They form the ground layer to most other vegetation communities in the Reserve. Lawns are the most extensive form of vegetation throughout the Reserve.

Shrubberies are common in the Holiday Park, where they are used to screen buildings and demarcate various areas. Typical species are the exotics Golden Cane Palms and Murraya. There are also some native species such as Bottlebrush *Callistemon sp* and various rainforest trees.

Specimen trees range from the grand avenue of Norfolk Pines in Banner Park to eucalypts, paperbarks, bottlebrush, Silky Oak and native and introduced Figs.

Although they may have landscape conservation values, many of these trees have little intrinsic conservation value. The exceptions include the Figs, Paperbarks and Eucalypts, which are known to be utilised for foraging and roosting by a wide range of mobile fauna including the threatened species Rose-crowned Fruit Dove, Eastern Tubenosed Bat and Grey-headed Flying Fox.

**Table 1. Likelihood of occurrence of Threatened Flora in Terrace Reserve Holiday Park**

<i>Scientific name</i>	No of records	TSC Status	Detectability	Essential Habitat	Likelihood of occurrence
<i>Acacia bakeri</i>	352	Vulnerable	All year	Lowland rainforest or adjacent eucalypt forest	Unlikely - habitat requirements not met
<i>Acronychia littoralis</i>	39	Endangered	Fruit (May to August) but leaf characters indicative	littoral rainforest and adjacent open forest	Unlikely – not detected in Community 3
<i>Archidendron hendersonii</i>	75	Vulnerable	All year	Riverine and lowland subtropical rainforest and littoral rainforest	Unlikely – not detected in Community 3
<i>Corokia whiteana</i>	2	Vulnerable	All year	Boundaries between wet eucalypt forest and warm temperate rainforest up to 800m	Unlikely - habitat requirements not met
<i>Cryptocarya foetida</i>	770	Vulnerable	All year	Littoral rainforest	Possible in Community 2
<i>Davidsonia jerseyana</i>	87	Endangered	All year	rainforest, eucalypt forest and regrowth on metasediments below about 300m altitude	Unlikely - habitat requirements not met
<i>Drynaria rigidula</i>	2	Endangered	All year	rainforest, moist eucalypt or swamp forest	Unlikely - habitat requirements not met
<i>Elaeocarpus williamsianus</i>	1	Endangered	All year	subtropical or warm temperate rainforest, including regrowth and small remnants	Unlikely - habitat requirements not met
<i>Endiandra floydii</i>	85	Endangered	All year	warm temperate or subtropical rainforest with Brush Box overstorey, or in rainforest or Camphor Laurel regrowth	Unlikely - habitat requirements not met
<i>Endiandra hayesii</i>	22	Vulnerable	All year	moist gullies in lowland subtropical or warm temperate rainforest	Unlikely - habitat requirements not met
<i>Endiandra muelleri subsp. bracteata</i>	125	Endangered	All year	rainforest or moist eucalypt forest, usually at lower altitudes	Unlikely - habitat requirements not met
<i>Grevillea hilliana</i>	107	Endangered	All year	Subtropical rainforest	Unlikely - habitat requirements not met
<i>Harnieria hygrophiloides</i>	61	Endangered	All year	rainforest or moist open forest	Unlikely - habitat requirements not met
<i>Macadamia tetraphylla</i>	9	Vulnerable	All year	subtropical rainforest, regrowth rainforest or remnant rainforest, north of Coraki	Unlikely - habitat requirements not met
<i>Marsdenia longiloba</i>	12	Endangered	Flowering (Summer) but leaf characters indicative	Subtropical and warm temperate rainforest, adjoining moist eucalypt forest rainforest and rock outcrops	Unlikely - habitat requirements not met
<i>Randia moorei</i>	254	Endangered	All year	Subtropical, riverine, littoral and dry rainforest	Unlikely – not detected in Community 3
<i>Syzygium hodgkinsoniae</i>	13	Vulnerable	All year	Riverine and subtropical rainforest	Unlikely - habitat requirements not met
<i>Syzygium moorei</i>	99	Vulnerable	All year	Subtropical and riverine rainforest	Unlikely - habitat requirements not met
<i>Tinospora tinosporoides</i>	22	Vulnerable	All year	Wetter subtropical rainforest, including littoral rainforest	Unlikely – not detected in Community 3
<i>Xylosma terrae-reginae</i>	38	Endangered	All year	Littoral and subtropical rainforest	Unlikely – not detected in Community 3

**Table 2. Occurrence of Threatened Fauna habitat in Terrace Reserve Holiday Park (marine species excluded)**

Class	Scientific name	Common name	Status	Habitat type	Habitat description	Occurrence in study area (Community)
Amphibia	<i>Litoria longburnensis</i>	Olongburra Frog	V	Breeding habitat	Ephemeral areas, or mirror lakes or marsh or swampy areas amongst emergent vegetation and reeds of wallum habitat (acidic tannin stained water) or adjacent to wallum habitat.	no
				Foraging habitat	Emergent low vegetation, or areas of sedges or rushes, or low foliage, adjacent to breeding habitat.	no
Amphibia	<i>Crinia tinnula</i>	Wallum Froglet	V	Shelter/roosting/refuge	Emergent vegetation of areas of breeding habitat	no
				Breeding habitat	Moist microhabitats in swamps, or wet or dry heaths, or sedge grasslands or swamps	no
Aves	<i>Pandion haliaetus</i>	Osprey	V	Shelter/roosting/refuge	As per breeding habitat	no
				Breeding habitat	Emergent living or dead trees or artificial towers within 3 km of foraging habitat	Yes (2)
Aves	<i>Todiramphus chloris</i>	Collared Kingfisher	V	Foraging habitat	Open protected water	adjoins study area
				Shelter/roosting/refuge	Structures on shorelines as vantage points for hunting and for resting	Yes (2)
Aves	<i>Botaurus poiciloptilus</i>	Australasian Bittern	E1	Breeding habitat	Usually hollows in large mangrove trees, sometimes in hollows or arboreal termite nests in <i>Eucalyptus</i> or <i>Melaleuca</i> adjacent to mangroves or estuarine foraging habitat.	Possible (1)
				Foraging habitat	Mangrove associations and other associated littoral estuarine habitats.	Yes (1)
Aves	<i>Ixobrychus flavicollis</i>	Black Bittern	V	Shelter/roosting/refuge	As breeding and foraging habitat	Yes (1)
				Breeding habitat	Emergent vegetation (eg, Phragmites, Typha) in freshwater or brackish wetlands	no
Aves	<i>Esacus neglectus</i>	Beach Stone-curlew	E4A	Foraging habitat	Freshwater or brackish wetlands, tussocky wet paddocks or drains	no
				Breeding habitat	Vegetation bordering water bodies or watercourses including Mangroves	Yes (1)
Aves	<i>Esacus neglectus</i>	Beach Stone-curlew	E4A	Foraging habitat	as per breeding habitat	Yes (1)
				Shelter/roosting/refuge	as per breeding habitat	Yes (1)
Aves	<i>Esacus neglectus</i>	Beach Stone-curlew	E4A	Breeding habitat	Marine supralittoral zone, at backs of beaches, or on sandbanks and islands, of varying substrate, among low vegetation of grass, scattered shrubs or low trees. Also among open mangroves.	Yes (1)
				Foraging habitat	Intertidal zone of beaches and estuaries, on flats, banks and spits of sand, mud or gravel; also at edges of or among mangroves.	Yes (1)

Class	Scientific name	Common name	Status	Habitat type	Habitat description	Occurrence in study area
				Shelter/roosting/refuge	During day, seen to roost in shade of trees, shrubs, fallen or beachcast timber or at edges of mangrove vegetation; on beaches, and on islands in or shores of estuaries.	Yes (1)
Aves	<i>Ephippiorhynchus asiaticus</i>	Black-necked Stork	E1	Breeding habitat	Live or dead tree within or near foraging habitat. Usually isolated, live, paddock trees in NSW, but also in paperbarks and occasionally low shrubs within wetlands.	Yes (1)
				Foraging habitat	Shallow open freshwater or saline wetlands and estuarine habitats, including swamps, floodplains, watercourses, wet heathland, wet meadows, farm dams, saltmarsh, mud- and sand-flats, mangroves.	Yes (1)
Aves	<i>Ptilinopus regina</i>	Rose-crowned Fruit-Dove	V	Shelter/roosting/refuge	As foraging and breeding habitat combined.	Yes (1)
				Breeding habitat	Wet sclerophyll forest or rainforest including remnants dominated by camphor laurel. Requires foraging habitat nearby.	no
				Foraging habitat	Fruiting plants, including introduced species, within vegetation types. Fruit between 5-25 mm diameter	Yes (3,4)
Aves	<i>Lichenostomus fasciolaris</i>	Mangrove Honeyeater	V	Shelter/roosting/refuge	As per breeding	no
				Breeding habitat	Mangrove vegetation associations of coasts, estuaries and offshore islands.	Yes (1)
				Foraging habitat	Mangrove vegetation associations and adjacent coastal vegetation or, occasionally, coastal parks and gardens.	Yes (1)
Aves	<i>Monarcha leucotis</i>	White-eared Monarch	V	Shelter/roosting/refuge	Not known.	
				Breeding habitat	Large patches of rainforest, especially drier types; wet and dry sclerophyll forests; ecotone between rainforest and other open vegetation types or edges of rainforest; regrowth forest.	no
				Foraging habitat	As breeding habitat.	no
Aves	<i>Amaurornis olivaceus</i>	Bush-hen	V	Shelter/roosting/refuge	Unknown, but almost certainly as breeding habitat.	no
				Breeding habitat	Dense vegetation >2 m tall on edges or in shallows of wetlands, streams or dams	no
				Foraging habitat	As per breeding habitat	no
				Shelter/roosting/refuge habitat	As per breeding habitat	no
Mammalia	<i>Planigale maculata</i>	Common Planigale	V	Breeding habitat	Hollow logs, under bark, rocks, cracks in soil, grass tussocks or building debris	no
				Foraging habitat	Coastal heaths, scrubs, woodlands, open forests and rainforests providing cover in the form of dense ground layers	no

Class	Scientific name	Common name	Status	Habitat type	Habitat description	Occurrence in study area
				Shelter/roosting/refuge	Hollow logs, under bark, rocks, cracks in soil, grass tussocks or building debris	no
Mammalia	<i>Phascolarctos cinereus</i>	Koala	V	Breeding habitat	eucalypt woodlands and forests	no
				Foraging habitat	Feed on the foliage of more than 70 eucalypt species and 30 non-eucalypt species; in any one area will select preferred browse species	Possible (2)
				Shelter/roosting/refuge habitat	n/a	
Mammalia	<i>Potorous tridactylus</i>	Long-nosed Potoroo	V	Breeding habitat	Rainforest or vegetation with dense understorey	no
				Foraging habitat	as per breeding habitat	no
				Shelter/roosting/refuge	as per breeding habitat	no
Mammalia	<i>Syconycteris australis</i>	Common Blossom-bat	V	Breeding habitat	Rainforest or vine thickets within proximity to foraging habitat.	no
				Foraging habitat	heathland and paperbark swamps	no
				Shelter/roosting/refuge habitat	Rainforest or vine thickets within 4km of foraging habitat.	no
Mammalia	<i>Nyctimene robinsoni</i>	Eastern Tube-nosed Bat	V	Breeding habitat	Rainforest, wet sclerophyll forest & heathlands	no
				Foraging habitat	Canopy and understorey rainforest, wet sclerophyll forest, heathland and orchards. Feeds on fleshy fruit and flowers of rainforest species Eucalypts, Banksias and other heathland species.	Yes (2, 4)
				Shelter/roosting/refuge	Tropical and subtropical rainforest, gallery forest and wet sclerophyll forest. Favours streamside habitats within coastal rainforest and moist eucalypt forests with rainforest understorey.	no
Mammalia	<i>Pteropus poliocephalus</i>	Grey-headed Flying-fox	V	Breeding habitat	Canopy trees associated with rainforest, or coastal scrub or riparian or estuarine communities and with sufficient forage resources available within 40km.	no
				Foraging habitat	Most	Yes (2, 4)
				Shelter/roosting/refuge habitat	Patches of forest with canopy trees within 40 kilometres of forage resource.	no
Mammalia	<i>Nyctophilus bifax</i>	Eastern Long-eared Bat	V	Breeding habitat	Rainforest	no
				Foraging habitat	Lowland subtropical rainforest and wet and swamp eucalypt forest, extending into adjacent moist eucalypt forest	no

Class	Scientific name	Common name	Status	Habitat type	Habitat description	Occurrence in study area
				Shelter/roosting/refuge habitat	roosts in dense tree foliage or under bark in tree hollows	no
Mammalia	<i>Scoteanax rueppellii</i>	Greater Broad-nosed Bat	V	Breeding habitat	Likely to be as per roosting habitat	Yes (2,3)
				Foraging habitat	Forests woodlands and wetlands	Yes (1,2,3)
Mammalia	<i>Miniopterus australis</i>	Little Bentwing-bat	V	Shelter/roosting/refuge habitat	Live or dead hollow-bearing trees, under exfoliating bark, or in buildings	Yes (2,3)
				Breeding habitat	Caves	no
				Foraging habitat	Moist eucalypt forest, rainforest or dense coastal banksia scrub	no
				Shelter/roosting/refuge habitat	Caves, tunnels or tree hollows	Yes (2,3)
Mammalia	<i>Myotis macropus</i>	Southern Myotis	V	Breeding habitat	Likely to be as per roosting habitat	no
				Foraging habitat	waterbodies (including streams, or lakes or reservoirs) and fringing areas of vegetation	no
				Shelter/roosting/refuge habitat	Live and dead hollow-bearing trees, under bridges or other artificial structures, in caves, or in dense foliage	no

## Weeds

This survey detected few live weed species, presumably because of recent weed control activities undertaken in the Reserve. The exceptions were Flame Lily *Gloriosa superba* and Madiera Vine *Anredera cordifolia* which were not observed in November but had re-shot from tubers in December following earlier spraying.

Other weed species listed in this report (Appendix 2) were drawn from observations of live and dead weed species plus weeds listed as treated as part of restoration works (Faithfull 2010). Most weeds occur along the creek bank in Community 2. Weeds are uncommon elsewhere because of the mown grass understorey. Minor exceptions include the shrub *Murraya*, a known environmental weed of bushland used as a screen plant in the Holiday Park and the potentially weedy root climbers *Philodendron* and *Syngonium* which are climbing Coast Cypress trees near the southern precinct amenities block.

## Potential impacts of developments and activities undertaken in the Reserve

### Assessment of impacts

Chapter 11 of The Department of Lands (2007) Trust Handbook outlines the responsibilities of the manager for environmental management. Under the *Threatened Species Conservation Act 1995*, environmental managers must ensure that threatened native plants, animals and communities on reserve trust land are not harmed, damaged, taken or killed. This requirement includes not only actions by the reserve trust when managing the land, but also actions by visitors.

Activities requiring a licence or development consent may not be undertaken unless the appropriate licence or consent has been granted. This may require an assessment under the *Threatened Species Conservation Amendment Act 2002*, which outlines the factors to be considered when assessing whether an action, development or activity is likely to significantly affect threatened species, populations or ecological communities, or their habitats (known as the “7-part test”).

When applying each factor, consideration must be given to all of the likely direct and indirect impacts of the Proposal. Direct impacts are those that directly affect habitat and individuals and include but are not limited to acute death through predation, trampling, poisoning of the animal/plant itself and the removal of suitable habitat. Indirect impacts occur when project-related activities affect habitat resources in a manner other than a direct loss of the resource. A broad range of indirect impacts need to be considered, for example, killing the species through starvation, exposure, predation by domestic and/or feral animals, loss of breeding opportunities, loss of shade/shelter, deleterious changes in the water table, increased soil salinity, promotion of erosion, inhibition of nitrogen fixation, provision of suitable seed bed



for exotic weed invasion, fertiliser drift, or increased human activity within or directly adjacent to sensitive habitat areas (DEC 2005, Threatened Species Assessment Guidelines).

Direct impacts on threatened species, populations or ecological communities, or their habitats are unlikely to occur from activities in the Reserve where impacts are confined to exotic or introduced vegetation (such as exotic trees, lawns, and weeds). Indirect impacts however could include trampling of native vegetation, overspray of herbicide onto non-target species, or damage to the root systems of nearby native trees from excavation, compaction, or modified soil water regimes resulting from changes to drainage or placement of impervious barriers such as paving. Where such impacts are possible a proper assessment should be undertaken.

## Management of impacts

A typical hierarchy of measures to minimise the likelihood of significant impact includes avoidance, minimisation and mitigation. Appropriate mitigation measures could include fencing to exclude access (which already exists along part of Simpsons Creek in the Holiday Park) or boardwalks to regulate pedestrian access, or a compensatory increase in the area and/or quality of native habitat in the Reserve.

The Mangrove (Community 1) is the most important area of the Reserve in terms of fauna habitat. Because it is regularly inundated by salt water it is unlikely to be developed. It may be subject to minor disturbance from human access and the associated trampling. Such impacts are readily managed, for example by provision of boardwalks.

The Coastal Cypress Pine Forest (Community 2) is an EEC and provides some fauna habitat. Because it is an aesthetically pleasing environment in a coastal location and occupies flat, well drained land it has long been used for human recreation and is subject to ever-increasing development pressure. Impacts are arising because the trees that make up this community are being lost as they become old and dangerous, but there is no recruitment of new trees to replace them. Natural recruitment is unlikely because of changes to disturbance regimes (such as the exclusion of fire, mowing, trampling) and dominance of the ground layer by mown exotic grasses. It will therefore be necessary to intervene to manage the recruitment of new trees. The presence of mature Coast Cypress trees in rows indicates that such intervention has a long history in the Reserve.

## Management of Coast Cypress

Coast Cypress is easily grown from seed. It is likely to have very similar growth characteristics to White Cypress, to which it is closely related (Thompson & Eldridge 2005). The following characteristics are relevant to management of Coast Cypress in the Reserve:

1. Cypress usually grow on soils of low nutrient status, particularly Nitrogen and Phosphorous;
2. In stands containing a range of stem sizes, the smaller stems get more than their "fair share";
3. Cypress is easily grown from seed;
4. Cypress lacks the ability to self-thin, rather growth halts and trees can remain in this condition for considerable periods.

Characteristic 1 suggests that application of N or P fertilisers is not required and should be avoided. Characteristic 2 indicates that young Coast Cypress will grow under older Coast Cypress trees. This, in conjunction with Characteristic 3, suggests that assisted regeneration of Coast Cypress communities should not be difficult. Characteristic 4 is of interest as it indicates that Coast Cypress can be planted in dense stands, as for a screen or 'green fence', without ill effect.

These characteristics together make Coast Cypress close to the ideal tree for use in a managed Holiday Park landscape.

A concern that Coast Cypress may have a shallow root system vulnerable to soil compaction from camping, pedestrian and vehicle traffic was addressed by excavation along a transect from the bole to beyond the drip line of several mature coastal cypress trees. It was found that Coast Cypress root density in the top 200mm of soil was low. This indicates that in the Holiday Park, which has deep sandy soils, Coast Cypress does not have a shallow root system concentrated in the upper strata of the soil. It is likely that coast Cypress root systems exploit the full depth of the soil profile including the deeper layers where moisture and soluble nutrients are more readily available.

## Conclusion & Recommendations

The only areas of the Reserve where new developments and activities could be undertaken without potential for significant impact on threatened species or ecological communities appear to be limited to those parts of Community 4 (Lawns Shrubberies and Specimen Trees) that are not occupied by native plant species or within the drip line of native trees.

For new activities elsewhere within the Reserve there is the potential to impact on the EECs 'Coastal Cypress Pine Forest in the NSW North Coast Bioregion' and 'Littoral rainforest in the NSW North Coast, Sydney Basin and South East Corner bioregions', the threatened native plant *Cryptocarya foetida* and the threatened fauna Osprey, Collared Kingfisher, Black Bittern, Beach Stone Curlew, Black-necked Stork, Rose-crowned Fruit Dove, Mangrove Honeyeater, Osprey, Koala, Eastern Tube-nosed Bat, Grey-headed Flying Fox, Greater Broad-nosed Bat and Little Bentwing Bat.

The characteristics of Coast Cypress are such that it very suitable for assisted regeneration and management in the Holiday Park setting.

It is recommended that a Vegetation Management Plan be prepared to guide the location and management of suitable areas of the Reserve for assisted regeneration of Coast Cypress, including where appropriate its characteristic understorey vegetation, to ensure that the Coast Cypress community is conserved and enhanced for future generations.

It is recommended that an environmental management system based on the specific environmental values, obligations and risks in the Reserve be prepared as soon as possible so as to minimise the potential for significant impacts on threatened species, populations or ecological communities, or their habitats.

Meanwhile, to ensure threatened native plants, animals and habitats on reserve trust land are not harmed, damaged, taken or killed, no pruning or lopping of native trees or shrubs is to be permitted except under the provisions of a documented environmental assessment or environmental management system, and by a qualified and insured arborist.

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# Appendices

## 1. Photographs



Photo 1 (top) 2 (bottom) Mature Coast Cypress trees planted in rows in the southern precinct of Terrace Reserve Holiday Park



Photo 3. Coast Cypress decline vs regeneration – South Terrace reserve. One reduced to a stump, one marked for removal, two small regenerating trees.



Photo 4. Rainforest plantings in Coast Cypress habitat, South Terrace Reserve.

## 2. Plant species inventory

Scientific name	Common name	Status	1	2	3	4
<i>Acacia disparrima</i> subsp. <i>disparrima</i>	Salwood			x		
<i>Acronychia imperforata</i>	Green Tree				x	
<i>Aegiceras corniculatus</i>	River Mangrove		x			
<i>Araucaria cunninghamii</i>	Hoop Pine					
<i>Araucaria heterophylla</i>	Norfolk Pine	Exotic				x
<i>Austromyrtus dulcis</i>	Midyim			x		
<i>Avicennia marina</i>	Grey Mangrove		x			
<i>Banksia integrifolia</i>	Coast Banksia			x		x
<i>Breynia oblongifolia</i>	Dwarves Apple			x		
<i>Callitris columellaris</i>	Coast Cypress			x		x
<i>Callsitemon salignus</i>	White Bottlebrush					x
<i>Casuarina glauca</i>	Swamp Oak		x			
<i>Cryptocarya triplinervis</i>	Three-veined Laurel					
<i>Cupaniopsis anacardioides</i>	Tuckeroo			x	x	x
<i>Dianella</i> sp	Flax Lily			x		
<i>Dodonaea triquetra</i>	Hop Bush			x		
<i>Elaeocarpus obovatus</i>	Hard Quandong				x	
<i>Elaeocarpus reticulatus</i>	Blueberry Ash			x		
<i>Eucalyptus intermedia</i>	Pink Bloodwood			x		
<i>Eucalyptus robusta</i>	Swamp Mahogany					x
<i>Eucalyptus robusta</i> x <i>tereticornis</i>						x
<i>Eucalyptus signata</i>	Scribbly Gum			x		
<i>Eucalyptus tereticornis</i>	Forest Red Gum			x		
<i>Euroschinus falcatus</i> var. <i>falcatus</i>	Ribbonwood			x		
<i>Ficus fraseri</i>	Sandpaper Fig					
<i>Ficus hillii</i>	Hills Fig	Introduced Native				x
<i>Ficus macrocarpa</i>	Moreton Bay Fig					x
<i>Ficus obliqua</i>	Small-leaved Fig			x		x
<i>Ficus rubiginosa</i>	Rusty Fig				x	x
<i>Ficus virens</i>	White Fig			x		
<i>Ficus superba</i>	Deciduous fig				x	
<i>Glochidion sumatranum</i>	Umbrella Cheese Tree			x		x
<i>Guioa semiglauca</i>					x	
<i>Hibiscus tiliaceus</i>	Cottonwood		x			
<i>Jagera pseudorhus</i> var. <i>pseudorhus</i>	Foambark				x	
<i>Leucopogon lanceolatus</i>	Sand Heath			x		
<i>Leucopogon leptospermoides</i>				x		
<i>Leucopogon margarodes</i>				x		
<i>Lomandra longifolia</i>	Mat Rush			x		
<i>Lophostemon confertus</i>	Brush Box			x		x
<i>Lophostemon suaveolens</i>	Swamp Box			x		
<i>Macaranga tanarius</i>						
<i>Mallotus discolor</i>	White Kamala				x	
<i>Melalauca quinquenervia</i>	Broadleaved Paperbark					x
<i>Ottochloa gracillima</i>	Soft Grass			x		
<i>Polyscias elegans</i>	Silver Basswood			x		
<i>Rhodomyrtus psidiodes</i>	Native Guava			x		
<i>Smilax australis</i>	Prickly Smilax			x		
<i>Syzygium australe</i>	Lillypilly					x
<b>Weeds:</b>						
<i>Ageratina adenophora</i>	Crofton Weed	Noxious Weed W4		x		
<i>Anredera cordifolia</i>	Madeira Vine	Environmental Weed		x		



<i>Bryophyllum sp</i>	Mother of Millions	Environmental Weed	x	
<i>Callisia spp</i>	Striped Inch Plant	Environmental Weed	x	
<i>Cinnamomum camphora</i>	Camphor Laurel	Noxious Weed W4	x	
<i>Commelina benghalensis</i>	Hairy Commelina	Environmental Weed	x	
<i>Gloriosa superba</i>	Glory Lily	Environmental Weed	x	
<i>Ipomoea sp</i>	Morning Glory	Environmental Weed	x	
<i>Lantana camara</i>	Lantana	Noxious Weed W4	x	
<i>Ligustrum lucidum</i>	Small-leaved Privet	Environmental Weed	x	
<i>Megaskepasma erythrochlamys</i>	Brazilian Cloak	Environmental Weed	x	
<i>Murraya paniculata</i>	Murraya	Environmental Weed	x	x
<i>Nephrolepis cordifolia</i>	Fishbone Fern	Environmental Weed	x	
<i>Ochna serrulata</i>	Mickey Mouse Plant	Environmental Weed	x	
<i>Philodendron sp</i>		Environmental Weed	x	
<i>Protasparagus aethiopicus</i>	Asparagus Fern	Environmental Weed	x	
<i>Sansevieria trifasciata</i>	Mother-in-laws Tongue	Environmental Weed	x	
<i>Schefflera actinophylla</i>	Umbrella Tree	Environmental Weed	x	x
<i>Syngonium sp</i>		Environmental Weed	x	

## **APPENDIX D      Drawings**

<b>T – 01</b>	Precinct Plan
<b>T – 02</b>	Existing Park Layout
<b>T – 03</b>	Proposed Park Layout
<b>T - 03a</b>	Proposed Fencing
<b>T – 04</b>	Proposed Pedestrian Access
<b>T – 05</b>	Proposed Improvement Concept Plan – Northern Precinct
<b>T – 06</b>	Manager’s Residence – Proposed Alterations

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**FORESHORE MANAGEMENT AND ACCESS PRECINCT**

WILL BE ALLOCATED AND MANAGED TO PROVIDE THE OPPORTUNITY FOR PUBLIC PEDESTRIAN ACCESS ALONG THE FORESHORE OF THIS SECTION OF SIMPSONS CREEK.

**FORESHORE ENVIRONMENTAL MANAGEMENT PRECINCT**

THIS AREA GENERALLY EXTENDS FROM THE LIMIT OF THE AREAS WITHIN THE RESERVE THAT ARE USED FOR HOLIDAY PARK ACTIVITIES AND PURPOSES TO THE EASTERN BOUNDARY OF THE RESERVE. THE PRECINCT INCLUDES THE INTERTIDAL ZONE, THE SIMPSONS CREEK FORESHORE AND SUPPORTS SIGNIFICANT ECOLOGICAL COMMUNITIES. THE OBJECTIVE FOR THIS PART OF THE RESERVE IS TO PROTECT AND RESTORE THE SIGNIFICANT ENVIRONMENTAL FEATURES AND RESOURCES OF THE INTERTIDAL ZONE AND THE FORESHORE OF SIMPSONS CREEK.

**NORTHERN PRECINCT**

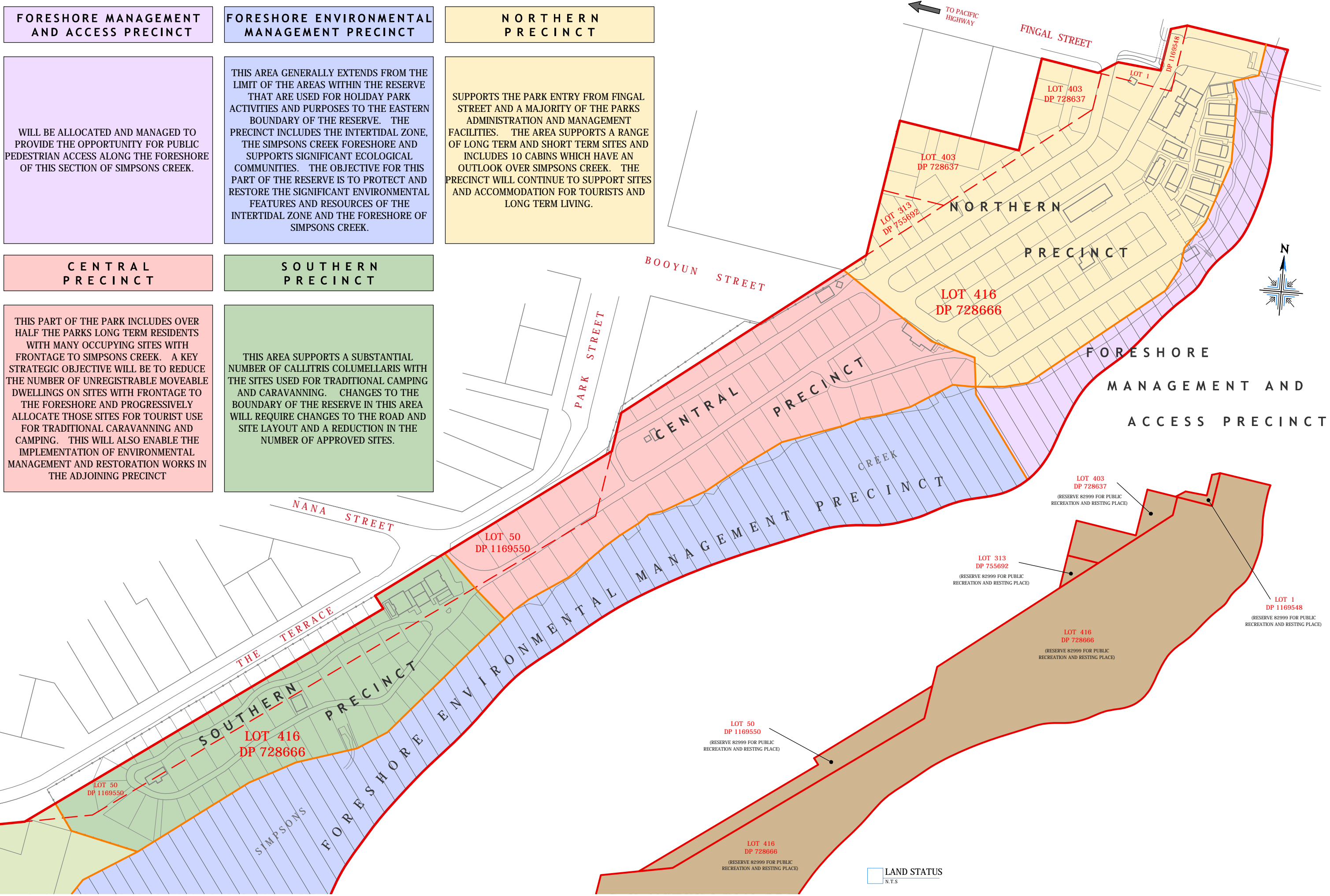
SUPPORTS THE PARK ENTRY FROM FINGAL STREET AND A MAJORITY OF THE PARKS ADMINISTRATION AND MANAGEMENT FACILITIES. THE AREA SUPPORTS A RANGE OF LONG TERM AND SHORT TERM SITES AND INCLUDES 10 CABINS WHICH HAVE AN OUTLOOK OVER SIMPSONS CREEK. THE PRECINCT WILL CONTINUE TO SUPPORT SITES AND ACCOMMODATION FOR TOURISTS AND LONG TERM LIVING.

**CENTRAL PRECINCT**

THIS PART OF THE PARK INCLUDES OVER HALF THE PARKS LONG TERM RESIDENTS WITH MANY OCCUPYING SITES WITH FRONTAGE TO SIMPSONS CREEK. A KEY STRATEGIC OBJECTIVE WILL BE TO REDUCE THE NUMBER OF UNREGISTRABLE MOVEABLE DWELLINGS ON SITES WITH FRONTAGE TO THE FORESHORE AND PROGRESSIVELY ALLOCATE THOSE SITES FOR TOURIST USE FOR TRADITIONAL CARAVANNING AND CAMPING. THIS WILL ALSO ENABLE THE IMPLEMENTATION OF ENVIRONMENTAL MANAGEMENT AND RESTORATION WORKS IN THE ADJOINING PRECINCT

**SOUTHERN PRECINCT**

THIS AREA SUPPORTS A SUBSTANTIAL NUMBER OF CALLITRIS COLUMELLARIS WITH THE SITES USED FOR TRADITIONAL CAMPING AND CARAVANNING. CHANGES TO THE BOUNDARY OF THE RESERVE IN THIS AREA WILL REQUIRE CHANGES TO THE ROAD AND SITE LAYOUT AND A REDUCTION IN THE NUMBER OF APPROVED SITES.



LAND STATUS  
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**GENERAL**

THE PARK DOES NOT HAVE KEY FACILITIES FOR GUESTS SUCH AS A CAMP KITCHEN, PLAYGROUND AND SWIMMING POOL.

THE PARK SUPPORTS A GOOD COVER OF MATURE VEGETATION BUT TREE MAINTENANCE IS A SIGNIFICANT MANAGEMENT ISSUE. SOME VEGETATION WITHIN THE PARK HAS A HIGH CONSERVATION VALUE.

**NORTHERN PRECINCT (92 SITES)**

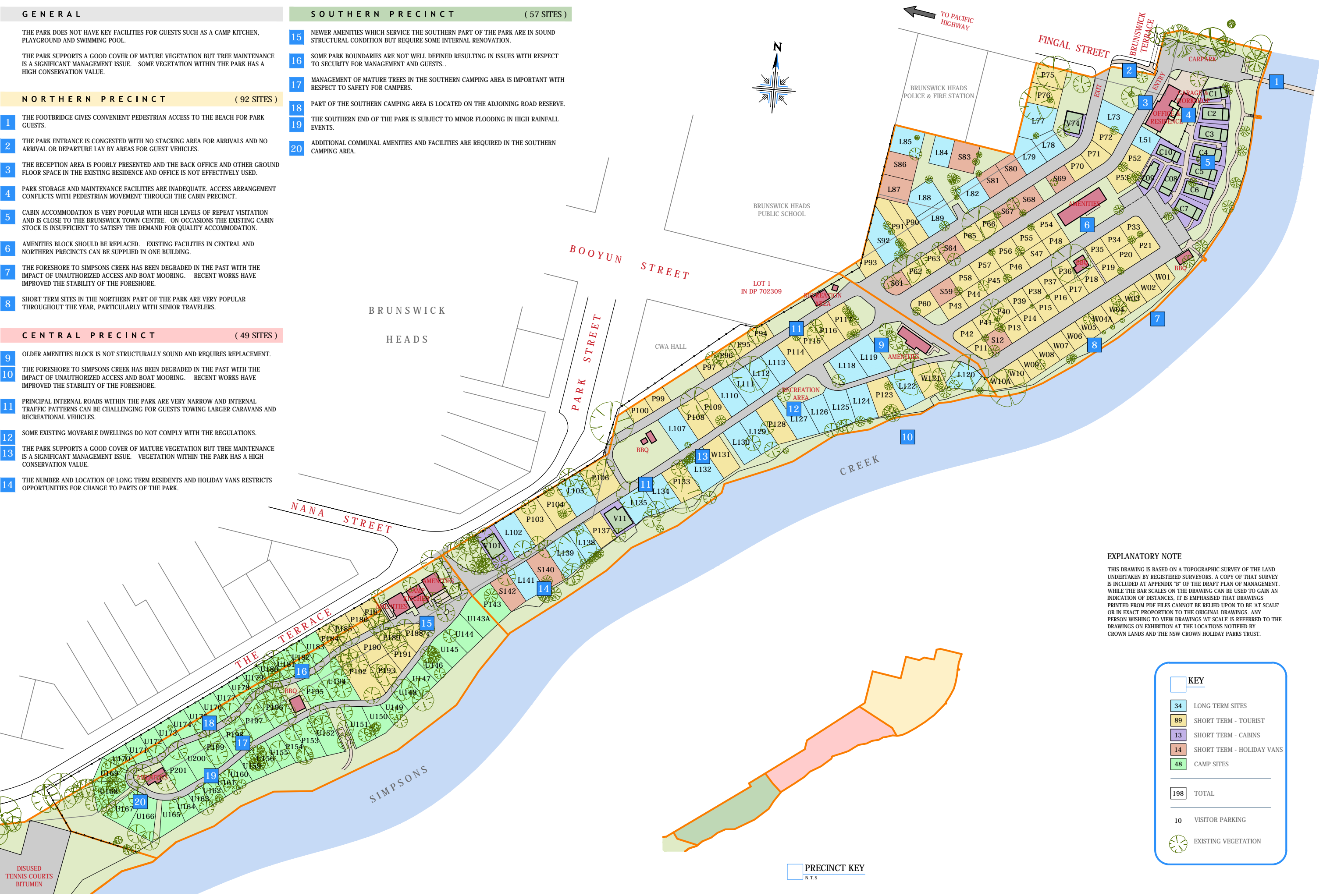
- 1 THE FOOTBRIDGE GIVES CONVENIENT PEDESTRIAN ACCESS TO THE BEACH FOR PARK GUESTS.
- 2 THE PARK ENTRANCE IS CONGESTED WITH NO STACKING AREA FOR ARRIVALS AND NO ARRIVAL OR DEPARTURE LAY BY AREAS FOR GUEST VEHICLES.
- 3 THE RECEPTION AREA IS POORLY PRESENTED AND THE BACK OFFICE AND OTHER GROUND FLOOR SPACE IN THE EXISTING RESIDENCE AND OFFICE IS NOT EFFECTIVELY USED.
- 4 PARK STORAGE AND MAINTENANCE FACILITIES ARE INADEQUATE. ACCESS ARRANGEMENT CONFLICTS WITH PEDESTRIAN MOVEMENT THROUGH THE CABIN PRECINCT.
- 5 CABIN ACCOMMODATION IS VERY POPULAR WITH HIGH LEVELS OF REPEAT VISITATION AND IS CLOSE TO THE BRUNSWICK TOWN CENTRE. ON OCCASIONS THE EXISTING CABIN STOCK IS INSUFFICIENT TO SATISFY THE DEMAND FOR QUALITY ACCOMMODATION.
- 6 AMENITIES BLOCK SHOULD BE REPLACED. EXISTING FACILITIES IN CENTRAL AND NORTHERN PRECINCTS CAN BE SUPPLIED IN ONE BUILDING.
- 7 THE FORESHORE TO SIMPSONS CREEK HAS BEEN DEGRADED IN THE PAST WITH THE IMPACT OF UNAUTHORIZED ACCESS AND BOAT MOORING. RECENT WORKS HAVE IMPROVED THE STABILITY OF THE FORESHORE.
- 8 SHORT TERM SITES IN THE NORTHERN PART OF THE PARK ARE VERY POPULAR THROUGHOUT THE YEAR, PARTICULARLY WITH SENIOR TRAVELERS.

**CENTRAL PRECINCT (49 SITES)**

- 9 OLDER AMENITIES BLOCK IS NOT STRUCTURALLY SOUND AND REQUIRES REPLACEMENT.
- 10 THE FORESHORE TO SIMPSONS CREEK HAS BEEN DEGRADED IN THE PAST WITH THE IMPACT OF UNAUTHORIZED ACCESS AND BOAT MOORING. RECENT WORKS HAVE IMPROVED THE STABILITY OF THE FORESHORE.
- 11 PRINCIPAL INTERNAL ROADS WITHIN THE PARK ARE VERY NARROW AND INTERNAL TRAFFIC PATTERNS CAN BE CHALLENGING FOR GUESTS TOWING LARGER CARAVANS AND RECREATIONAL VEHICLES.
- 12 SOME EXISTING MOVEABLE DWELLINGS DO NOT COMPLY WITH THE REGULATIONS.
- 13 THE PARK SUPPORTS A GOOD COVER OF MATURE VEGETATION BUT TREE MAINTENANCE IS A SIGNIFICANT MANAGEMENT ISSUE. VEGETATION WITHIN THE PARK HAS A HIGH CONSERVATION VALUE.
- 14 THE NUMBER AND LOCATION OF LONG TERM RESIDENTS AND HOLIDAY VANS RESTRICTS OPPORTUNITIES FOR CHANGE TO PARTS OF THE PARK.

**SOUTHERN PRECINCT (57 SITES)**

- 15 NEWER AMENITIES WHICH SERVICE THE SOUTHERN PART OF THE PARK ARE IN SOUND STRUCTURAL CONDITION BUT REQUIRE SOME INTERNAL RENOVATION.
- 16 SOME PARK BOUNDARIES ARE NOT WELL DEFINED RESULTING IN ISSUES WITH RESPECT TO SECURITY FOR MANAGEMENT AND GUESTS.
- 17 MANAGEMENT OF MATURE TREES IN THE SOUTHERN CAMPING AREA IS IMPORTANT WITH RESPECT TO SAFETY FOR CAMPERS.
- 18 PART OF THE SOUTHERN CAMPING AREA IS LOCATED ON THE ADJOINING ROAD RESERVE.
- 19 THE SOUTHERN END OF THE PARK IS SUBJECT TO MINOR FLOODING IN HIGH RAINFALL EVENTS.
- 20 ADDITIONAL COMMUNAL AMENITIES AND FACILITIES ARE REQUIRED IN THE SOUTHERN CAMPING AREA.



**EXPLANATORY NOTE**

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KEY	
<span style="background-color: #ADD8E6; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	34 LONG TERM SITES
<span style="background-color: #FFD700; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	89 SHORT TERM - TOURIST
<span style="background-color: #800080; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	13 SHORT TERM - CABINS
<span style="background-color: #FF69B4; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	14 SHORT TERM - HOLIDAY VANS
<span style="background-color: #3CB371; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	48 CAMP SITES
<hr/>	
<span style="border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	198 TOTAL
<hr/>	
<span style="border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	10 VISITOR PARKING
<hr/>	
<span style="display: inline-block; width: 15px; height: 10px; border: 1px solid black; border-radius: 50%;"></span>	EXISTING VEGETATION

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**FORESHORE MANAGEMENT AND ACCESS PRECINCT**

- 1 MAINTAIN THIS SECTION OF THE 'RIVERFRONT WALK' AND SEAWALL TO PROVIDE FOR APPROPRIATE PUBLIC PEDESTRIAN ACCESS TO THE FORESHORE. IMPLEMENT THE RELEVANT PROVISIONS OF THE BRUNSWICK FORESHORES RESERVES STRATEGY.
- 2 DEMOLISH THE EXISTING BARBECUE SHELTER TO CONSOLIDATE AN OPEN CHARACTER FOR THIS PART OF THE FORESHORE.

**FORESHORE ENVIRONMENTAL MANAGEMENT PRECINCT**

- 3 PROGRESSIVELY RELOCATE PERMANENT MOVEABLE DWELLINGS AWAY FROM THE FORESHORE AS CIRCUMSTANCES ALLOW AND CONVERT SITES TO SHORT TERM USE FOR CARAVANS AND CAMPING. REMOVE EXOTIC VEGETATION AND RE-ESTABLISH THE NATURAL PROFILE OF THE FORESHORE BY REMOVING UNAUTHORISED STRUCTURES, WALLS AND PAVEMENT. RE-ESTABLISH ENDEMIC NATIVE VEGETATION SPECIES IN ACCORDANCE WITH AN ENVIRONMENTAL MANAGEMENT AND REHABILITATION PLAN. CLEARLY DEFINE AND LIMIT THE EXTENT OF HOLIDAY PARK SITES AND HOLIDAY PARK ACTIVITIES.
- 3a INVESTIGATE RETENTION OF CREEK AND BEACH ACCESS AS PART OF FORESHORE RESTORATION PROGRAM.
- 4 REMOVE EXOTIC VEGETATION AND RE-ESTABLISH THE NATURAL PROFILE OF THE FORESHORE BY REMOVING UNAUTHORISED STRUCTURES, WALLS AND PAVEMENT. RE-ESTABLISH ENDEMIC NATIVE VEGETATION SPECIES IN ACCORDANCE WITH AN ENVIRONMENTAL MANAGEMENT AND REHABILITATION PLAN. CLEARLY DEFINE AND LIMIT THE EXTENT OF HOLIDAY PARK SITES AND HOLIDAY PARK ACTIVITIES.
- 5 MAINTAIN BOARDWALK AND ACCESS TO SMALL BEACH AND CREEK FORESHORE.

**NORTHERN PRECINCT (71 SITES)**

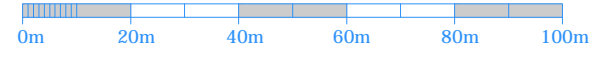
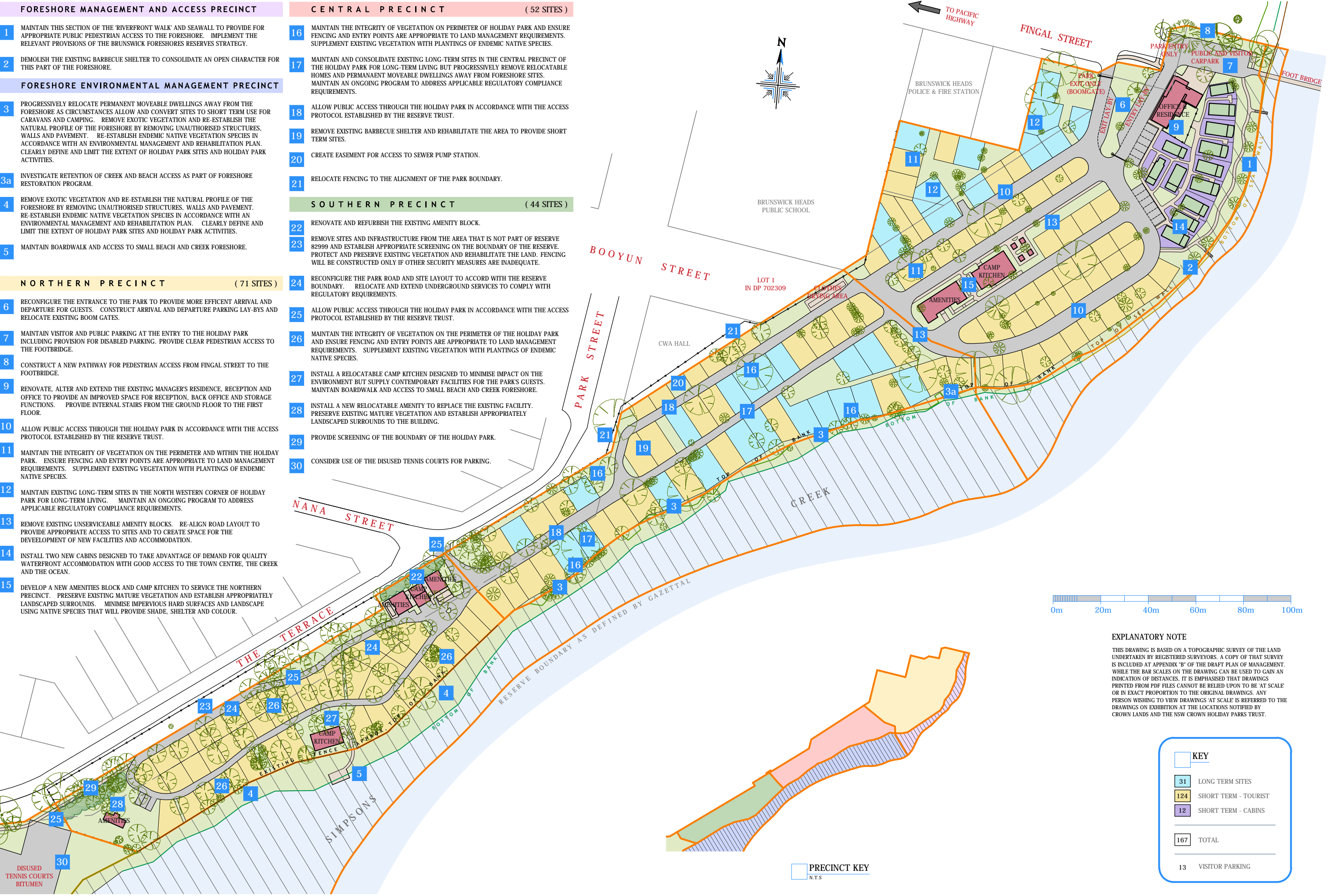
- 6 RECONFIGURE THE ENTRANCE TO THE PARK TO PROVIDE MORE EFFICIENT ARRIVAL AND DEPARTURE FOR GUESTS. CONSTRUCT ARRIVAL AND DEPARTURE PARKING LAY-BYS AND RELOCATE EXISTING BOOM GATES.
- 7 MAINTAIN VISITOR AND PUBLIC PARKING AT THE ENTRY TO THE HOLIDAY PARK INCLUDING PROVISION FOR DISABLED PARKING. PROVIDE CLEAR PEDESTRIAN ACCESS TO THE FOOTBRIDGE.
- 8 CONSTRUCT A NEW PATHWAY FOR PEDESTRIAN ACCESS FROM FINGAL STREET TO THE FOOTBRIDGE.
- 9 RENOVATE, ALTER AND EXTEND THE EXISTING MANAGER'S RESIDENCE, RECEPTION AND OFFICE TO PROVIDE AN IMPROVED SPACE FOR RECEPTION, BACK OFFICE AND STORAGE FUNCTIONS. PROVIDE INTERNAL STAIRS FROM THE GROUND FLOOR TO THE FIRST FLOOR.
- 10 ALLOW PUBLIC ACCESS THROUGH THE HOLIDAY PARK IN ACCORDANCE WITH THE ACCESS PROTOCOL ESTABLISHED BY THE RESERVE TRUST.
- 11 MAINTAIN THE INTEGRITY OF VEGETATION ON THE PERIMETER AND WITHIN THE HOLIDAY PARK. ENSURE FENCING AND ENTRY POINTS ARE APPROPRIATE TO LAND MANAGEMENT REQUIREMENTS. SUPPLEMENT EXISTING VEGETATION WITH PLANTINGS OF ENDEMIC NATIVE SPECIES.
- 12 MAINTAIN EXISTING LONG-TERM SITES IN THE NORTH WESTERN CORNER OF HOLIDAY PARK FOR LONG-TERM LIVING. MAINTAIN AN ONGOING PROGRAM TO ADDRESS APPLICABLE REGULATORY COMPLIANCE REQUIREMENTS.
- 13 REMOVE EXISTING UNSERVICEABLE AMENITY BLOCKS. RE-ALIGN ROAD LAYOUT TO PROVIDE APPROPRIATE ACCESS TO SITES AND TO CREATE SPACE FOR THE DEVELOPMENT OF NEW FACILITIES AND ACCOMMODATION.
- 14 INSTALL TWO NEW CABINS DESIGNED TO TAKE ADVANTAGE OF DEMAND FOR QUALITY WATERFRONT ACCOMMODATION WITH GOOD ACCESS TO THE TOWN CENTRE, THE CREEK AND THE OCEAN.
- 15 DEVELOP A NEW AMENITIES BLOCK AND CAMP KITCHEN TO SERVICE THE NORTHERN PRECINCT. PRESERVE EXISTING MATURE VEGETATION AND ESTABLISH APPROPRIATELY LANDSCAPED SURROUNDS. MINIMISE IMPERVIOUS HARD SURFACES AND LANDSCAPE USING NATIVE SPECIES THAT WILL PROVIDE SHADE, SHELTER AND COLOUR.

**CENTRAL PRECINCT (52 SITES)**

- 16 MAINTAIN THE INTEGRITY OF VEGETATION ON PERIMETER OF HOLIDAY PARK AND ENSURE FENCING AND ENTRY POINTS ARE APPROPRIATE TO LAND MANAGEMENT REQUIREMENTS. SUPPLEMENT EXISTING VEGETATION WITH PLANTINGS OF ENDEMIC NATIVE SPECIES.
- 17 MAINTAIN AND CONSOLIDATE EXISTING LONG-TERM SITES IN THE CENTRAL PRECINCT OF THE HOLIDAY PARK FOR LONG-TERM LIVING BUT PROGRESSIVELY REMOVE RELOCATABLE HOMES AND PERMANENT MOVEABLE DWELLINGS AWAY FROM FORESHORE SITES. MAINTAIN AN ONGOING PROGRAM TO ADDRESS APPLICABLE REGULATORY COMPLIANCE REQUIREMENTS.
- 18 ALLOW PUBLIC ACCESS THROUGH THE HOLIDAY PARK IN ACCORDANCE WITH THE ACCESS PROTOCOL ESTABLISHED BY THE RESERVE TRUST.
- 19 REMOVE EXISTING BARBECUE SHELTER AND REHABILITATE THE AREA TO PROVIDE SHORT TERM SITES.
- 20 CREATE EASEMENT FOR ACCESS TO SEWER PUMP STATION.
- 21 RELOCATE FENCING TO THE ALIGNMENT OF THE PARK BOUNDARY.

**SOUTHERN PRECINCT (44 SITES)**

- 22 RENOVATE AND REFURBISH THE EXISTING AMENITY BLOCK.
- 23 REMOVE SITES AND INFRASTRUCTURE FROM THE AREA THAT IS NOT PART OF RESERVE 82999 AND ESTABLISH APPROPRIATE SCREENING ON THE BOUNDARY OF THE RESERVE. PROTECT AND PRESERVE EXISTING VEGETATION AND REHABILITATE THE LAND. FENCING WILL BE CONSTRUCTED ONLY IF OTHER SECURITY MEASURES ARE INADEQUATE.
- 24 RECONFIGURE THE PARK ROAD AND SITE LAYOUT TO ACCORD WITH THE RESERVE BOUNDARY. RELOCATE AND EXTEND UNDERGROUND SERVICES TO COMPLY WITH REGULATORY REQUIREMENTS.
- 25 ALLOW PUBLIC ACCESS THROUGH THE HOLIDAY PARK IN ACCORDANCE WITH THE ACCESS PROTOCOL ESTABLISHED BY THE RESERVE TRUST.
- 26 MAINTAIN THE INTEGRITY OF VEGETATION ON THE PERIMETER OF THE HOLIDAY PARK AND ENSURE FENCING AND ENTRY POINTS ARE APPROPRIATE TO LAND MANAGEMENT REQUIREMENTS. SUPPLEMENT EXISTING VEGETATION WITH PLANTINGS OF ENDEMIC NATIVE SPECIES.
- 27 INSTALL A RELOCATABLE CAMP KITCHEN DESIGNED TO MINIMISE IMPACT ON THE ENVIRONMENT BUT SUPPLY CONTEMPORARY FACILITIES FOR THE PARK'S GUESTS. MAINTAIN BOARDWALK AND ACCESS TO SMALL BEACH AND CREEK FORESHORE.
- 28 INSTALL A NEW RELOCATABLE AMENITY TO REPLACE THE EXISTING FACILITY. PRESERVE EXISTING MATURE VEGETATION AND ESTABLISH APPROPRIATELY LANDSCAPED SURROUNDS TO THE BUILDING.
- 29 PROVIDE SCREENING OF THE BOUNDARY OF THE HOLIDAY PARK.
- 30 CONSIDER USE OF THE DISUSED TENNIS COURTS FOR PARKING.



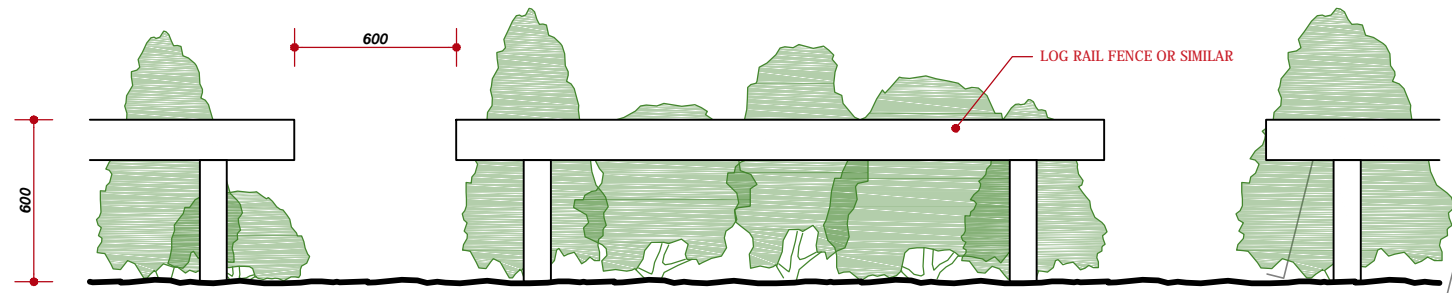
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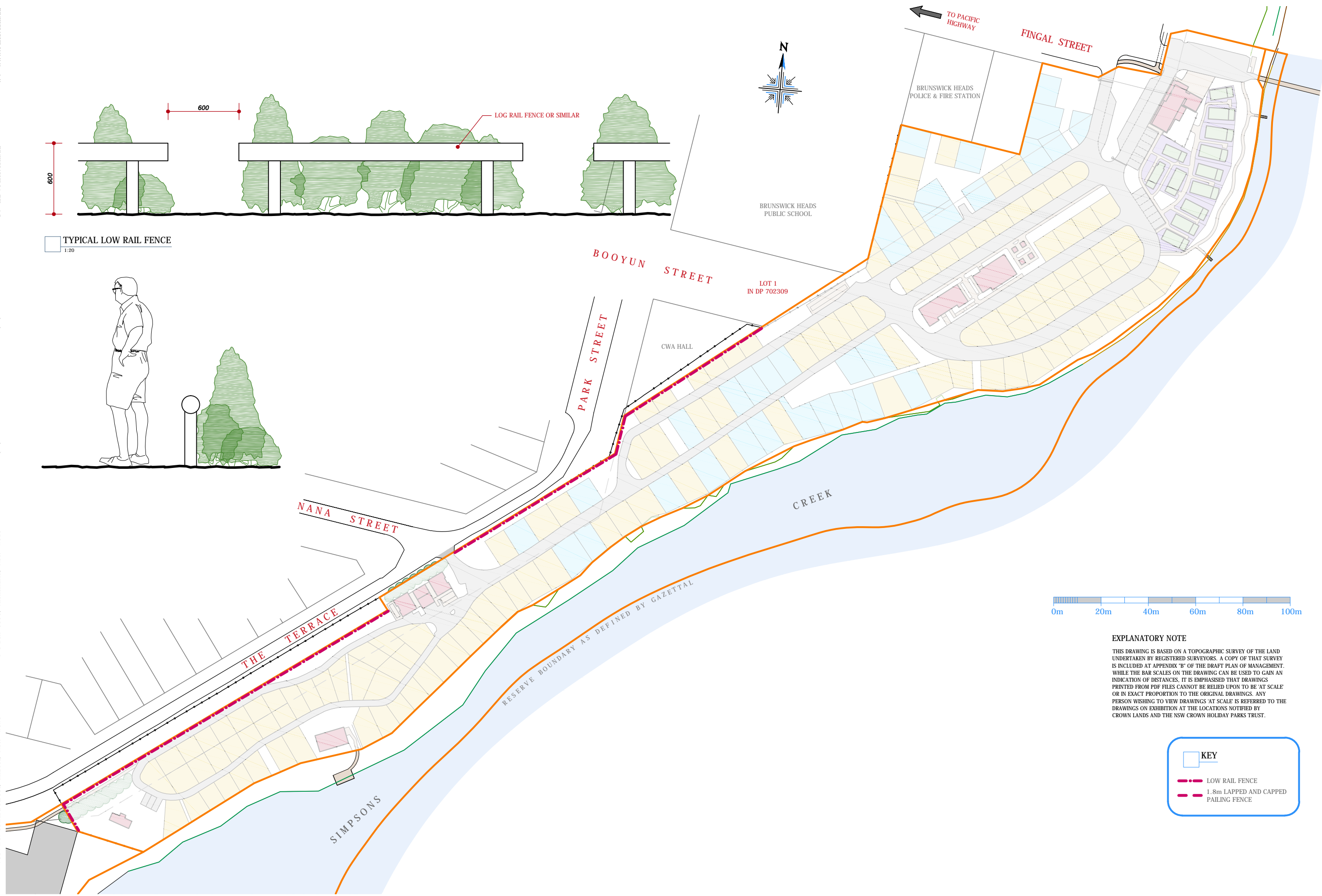
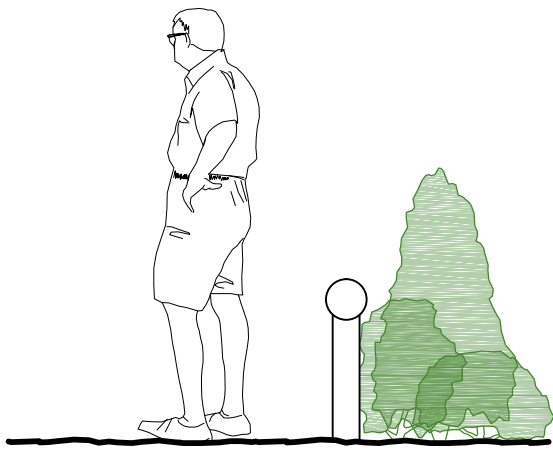
KEY	
[Blue Box]	LONG TERM SITES
[Yellow Box]	SHORT TERM - TOURIST
[Purple Box]	SHORT TERM - CABINS
[White Box]	TOTAL
[Blue Box]	13 VISITOR PARKING

**PRECINCT KEY**  
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TYPICAL LOW RAIL FENCE  
1:20



**EXPLANATORY NOTE**  
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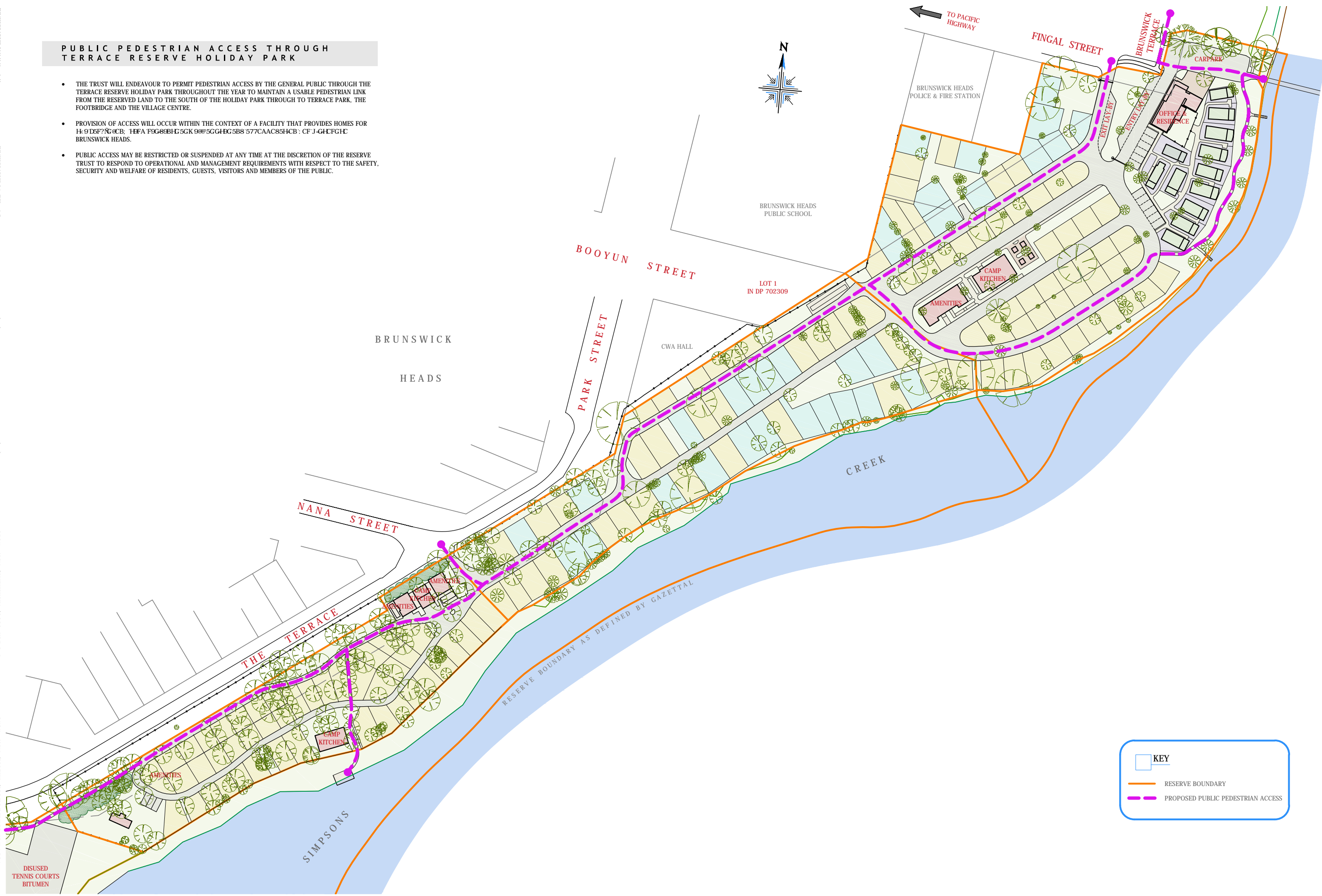
**KEY**

- LOW RAIL FENCE
- 1.8m LAPPED AND CAPPED PAILING FENCE

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**PUBLIC PEDESTRIAN ACCESS THROUGH TERRACE RESERVE HOLIDAY PARK**

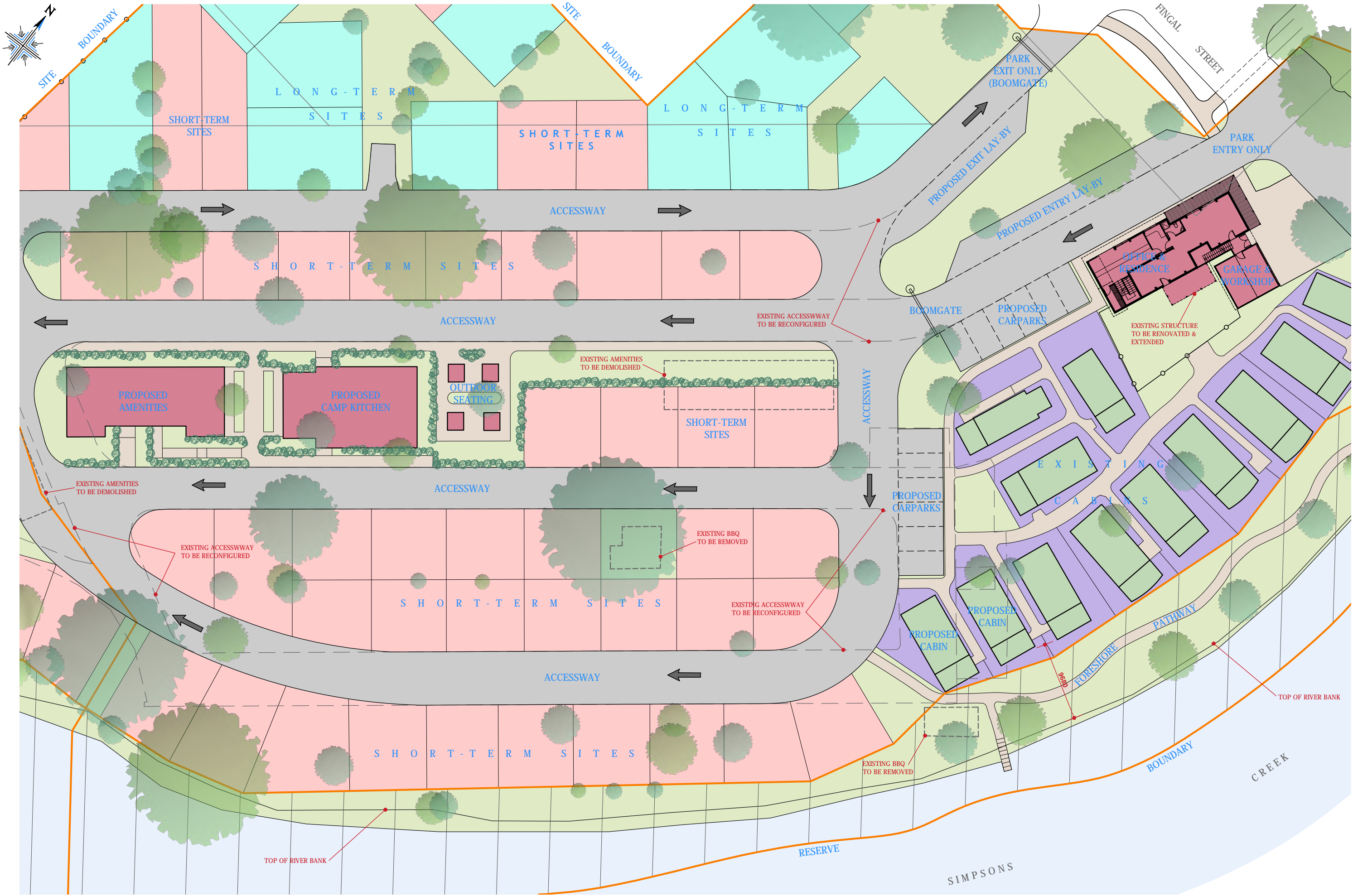
- THE TRUST WILL ENDEAVOUR TO PERMIT PEDESTRIAN ACCESS BY THE GENERAL PUBLIC THROUGH THE TERRACE RESERVE HOLIDAY PARK THROUGHOUT THE YEAR TO MAINTAIN A USABLE PEDESTRIAN LINK FROM THE RESERVED LAND TO THE SOUTH OF THE HOLIDAY PARK THROUGH TO TERRACE PARK, THE FOOTBRIDGE AND THE VILLAGE CENTRE.
- PROVISION OF ACCESS WILL OCCUR WITHIN THE CONTEXT OF A FACILITY THAT PROVIDES HOMES FOR H-9 D6F?N@CB: HFA F9G8BHG5GK 9@@5GGHGG5B8 577CAAC85HCB: CF J-GHCFGHC BRUNSWICK HEADS.
- PUBLIC ACCESS MAY BE RESTRICTED OR SUSPENDED AT ANY TIME AT THE DISCRETION OF THE RESERVE TRUST TO RESPOND TO OPERATIONAL AND MANAGEMENT REQUIREMENTS WITH RESPECT TO THE SAFETY, SECURITY AND WELFARE OF RESIDENTS, GUESTS, VISITORS AND MEMBERS OF THE PUBLIC.



**KEY**

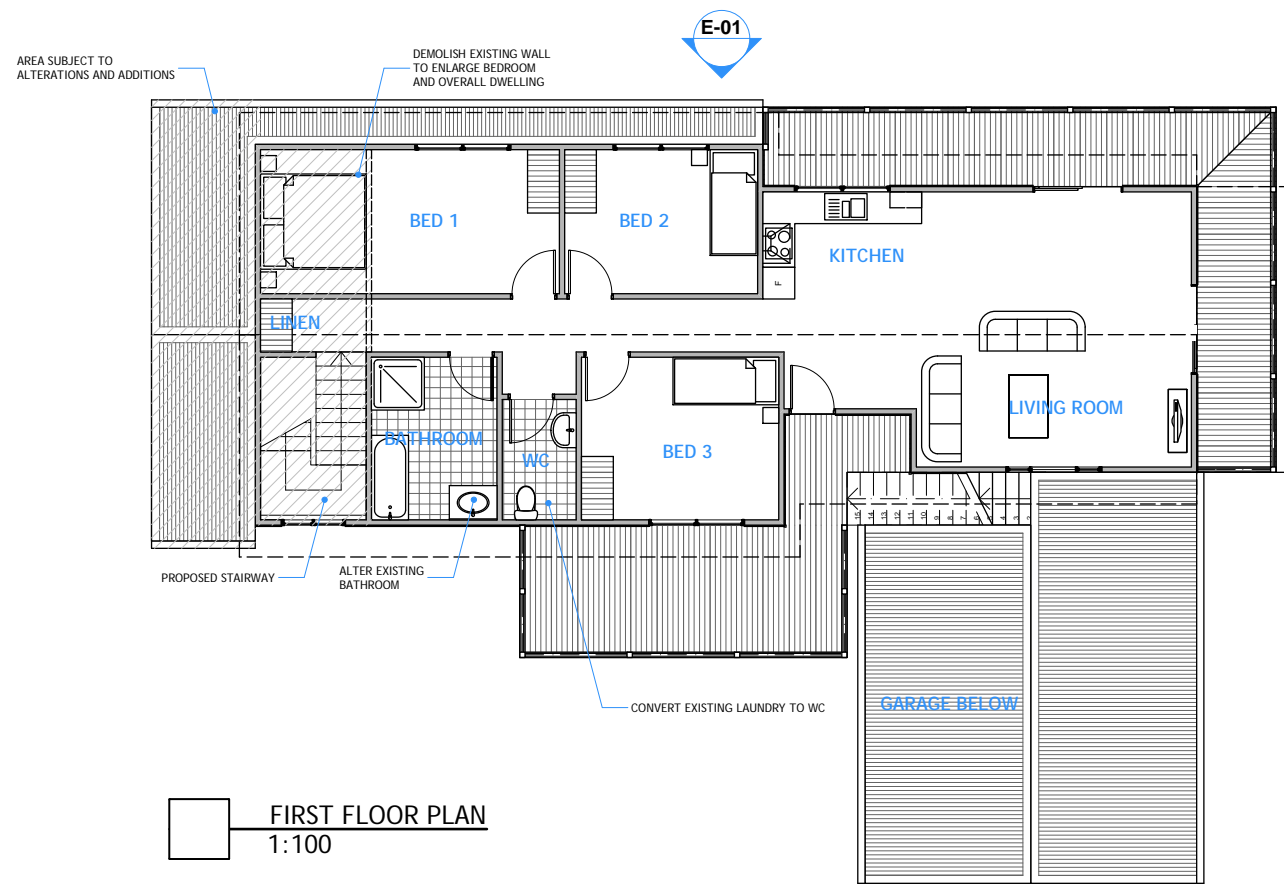
- RESERVE BOUNDARY
- PROPOSED PUBLIC PEDESTRIAN ACCESS

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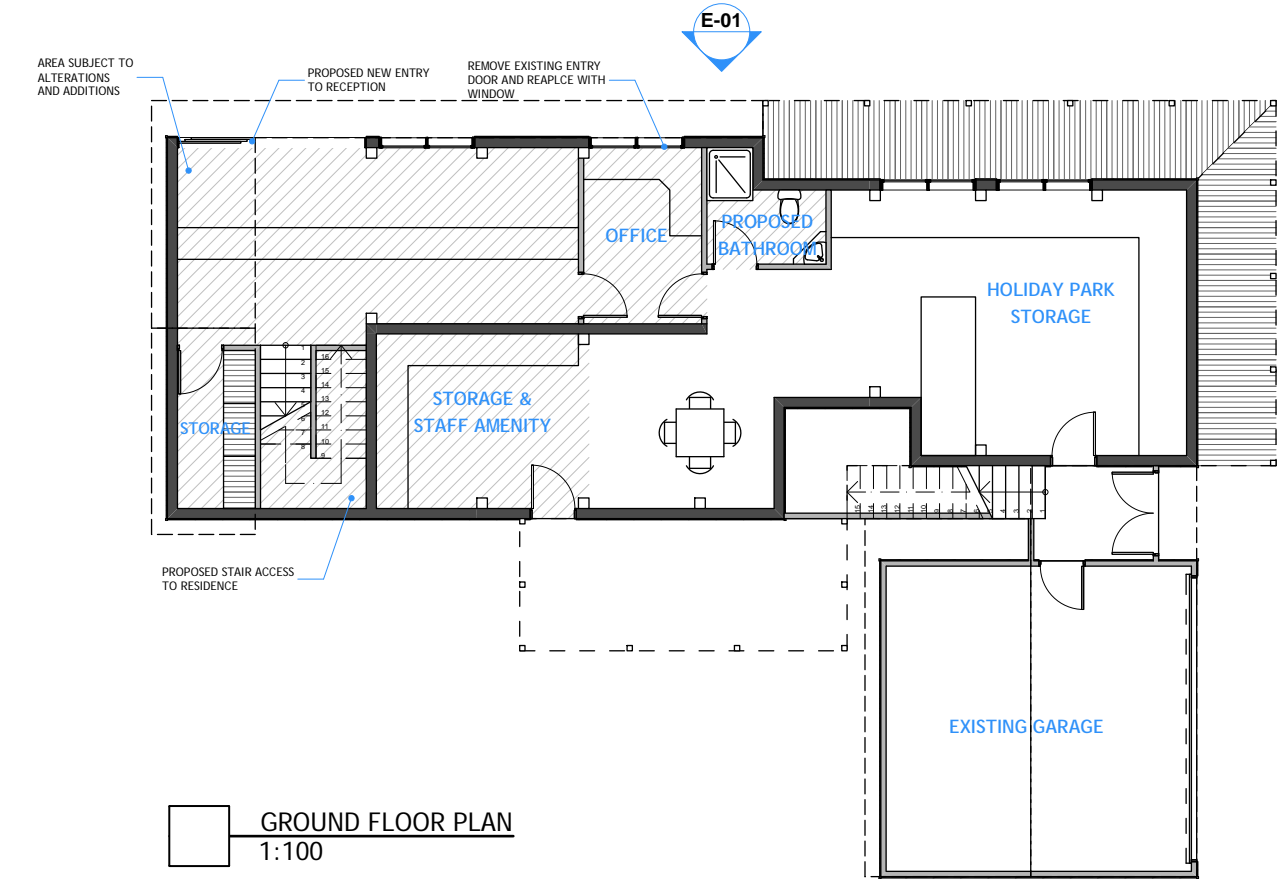


NORTHERN PRECINCT DETAIL

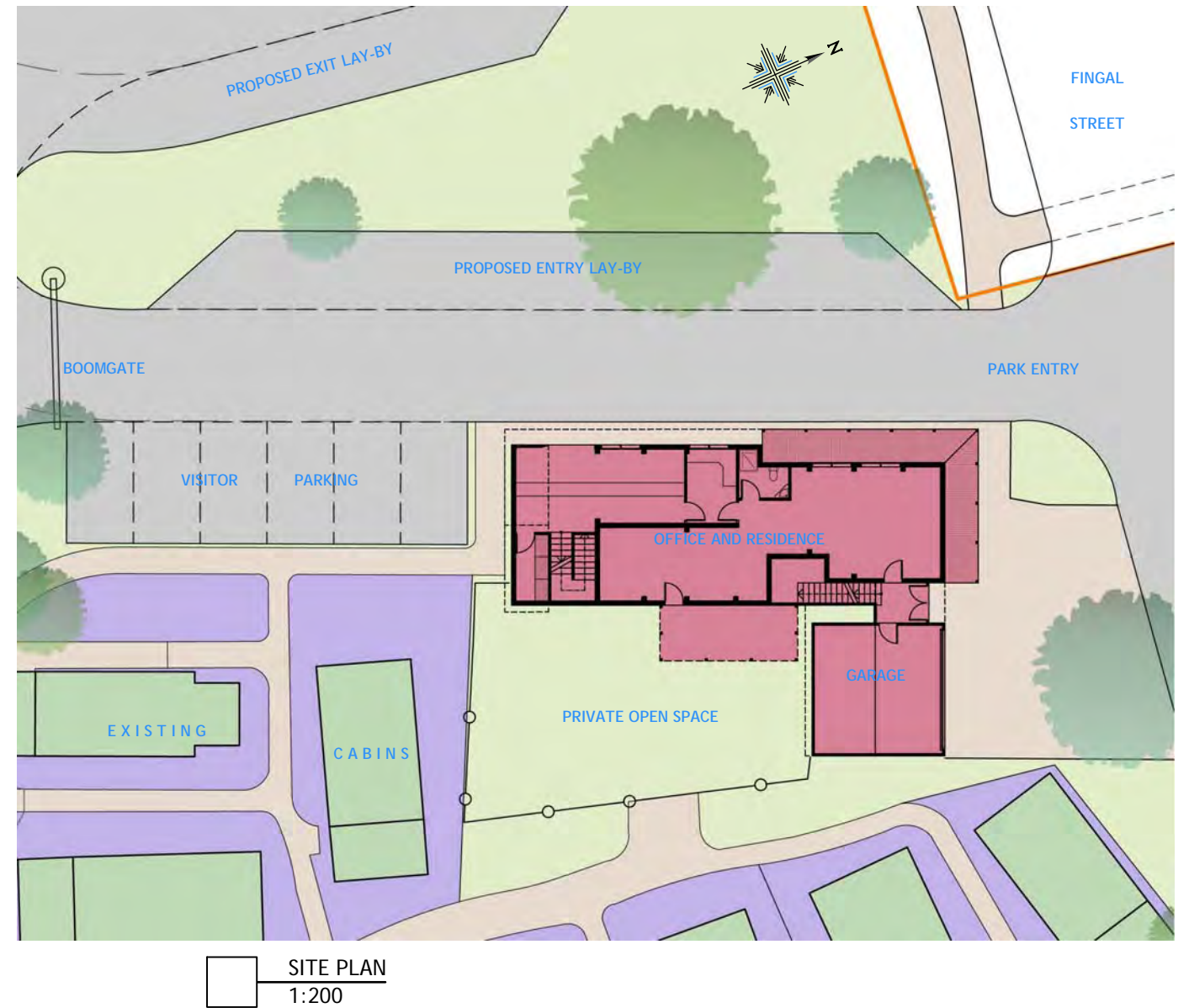
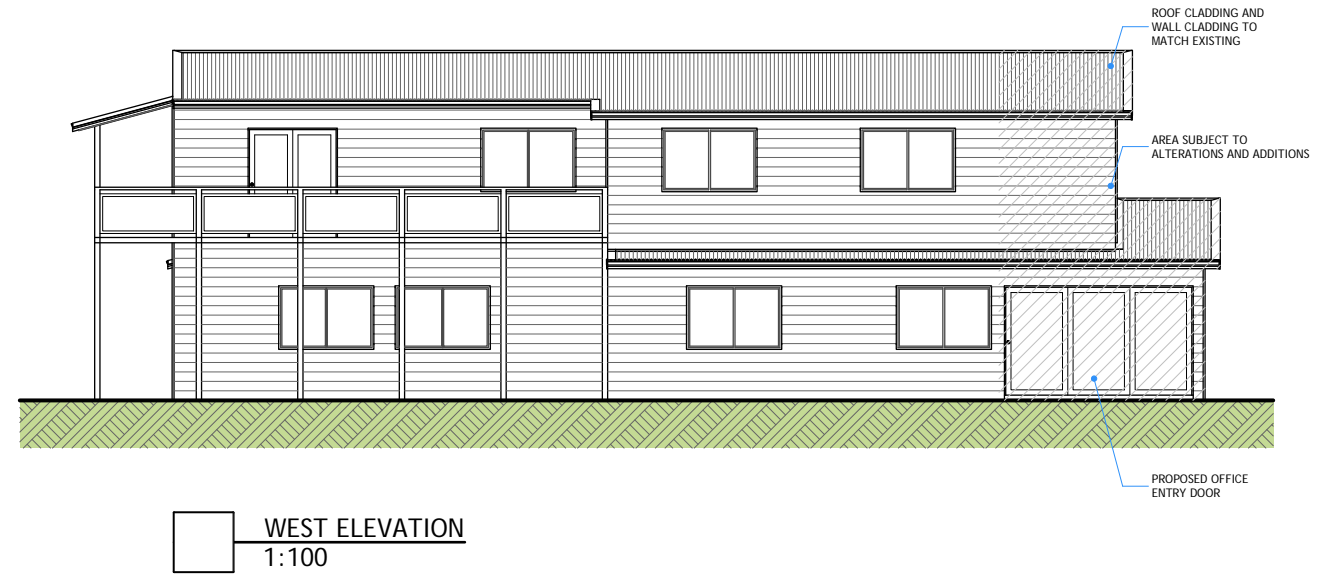




FIRST FLOOR PLAN  
1:100



GROUND FLOOR PLAN  
1:100



**APPENDIX E**      **Summary of Amendments from 2010 Exhibition of Draft Plan of Management – Terrace Reserve Holiday Park**

## Summary of Amendments from 2010 Exhibition of Draft Plan of Management Terrace Reserve Holiday Park

### Background

Draft Plans of Management for Massy Green, Terrace Reserve, Banner and Terrace Parks were exhibited for 8 weeks in 2010. A total of 280 submissions were received, in addition to feedback from a community forum attended by representatives from 35 community organizations, Byron Shire Council, Crown Lands and the Trust.

### Terrace Reserve Submissions

A total of 22 amendments were recommended at the community forum. The Trust made 13 changes to the draft Plans of Management, however did not support 9 recommendations.

8 key issues were raised via the public exhibition process. The Trust made 6 changes to the draft Plans of Management, however did not support 2 recommendations.

The key issues raised and addressed by the Trust are detailed below.

Reserve	Source	Issue	Addressed
TRHP	2010 Forum	Environmental impact statement required for park as part of PoM for trees & vegetation	✘
TRHP	2010 Forum	The western boundary should have a 10m setback	✘
TRHP	2010 Forum	Provide traffic calming at junction of The Terrace and Nana Street	✘
TRHP	2010 Forum	No RV's or large vans in Terrace move to Massey	✘
TRHP	2010 Forum	More caravans and camping year round will deprive residents & kids of green space for recreation & play.	✘
TRHP	2010 Forum	The southern end should be only used for camping overflow only as it used to be.	✘
TRHP	2010 Forum	Bikeway / pathway in adjusted boundary	✘
TRHP	2010 Forum	Want public access path through parking area east of Terrace Reserve Holiday Park to pedestrian bridge	✔
TRHP	2010 Forum	No boom gate on Fingal St car Park	✔
TRHP	2010 Forum	No gated fence. It will reduce access, affect resident visual amenity & lifestyle and affect property values. It is not fair.	✔
TRHP	2010 Forum	The sites too close to the road for safety	✔
TRHP	2010 Forum	No swimming pool	✔
TRHP	2010 Forum	Is there a conservation plan of management?	✔
TRHP	2010 Forum	Reduce the number of proposed cabins & stage the additional cabins	✔
TRHP	2010 Forum	Increased use at the southern end is impacting on resident's car park availability.	✔
TRHP	2010 Forum	Parking for Locals, Residents & park Guests	✔
TRHP	2010 Forum	Access to creek & launching of craft - Marine park Authority comments	✔
TRHP	2010 Forum	Some residents have cut mangrove trees, encroached within 2m of foreshore and restricted access to the foreshore.	✔

TRHP	2010 Forum	No board walk along terrace foreshore	✓
General	2010 Forum	Cabins to be 10% of Park sites	✗
General	2010 Forum	Permanents to be 30% of park sites	✗
General	2010 Forum	The "Simple Pleasures" message not reflected in the POMs.	✓
TRHP	2010 Exhibition	Structures being placed close to the foreshore prevent public access and should be relocated to ensure a 10m buffer zone for foreshore.	✗
TRHP	2010 Exhibition	Do not want increased/year round operational activity in the southern area of the park and is a concern of adjoining residents.	✗
TRHP	2010 Exhibition	Lack of visitor/boat parking with the Holiday Park to meet demand.	✓
TRHP	2010 Exhibition	Do not want more cabins at the expense of sites. Furthermore cabins are an unaffordable option.	✓
General	2010 Exhibition	Lack of visitor and boat parking in Holiday Park to meet requirements of park users.	✓
General	2010 Exhibition	The affect of development on laidback 'fishing village' and the 'simple pleasures' theme of the town which is not like Byron Bay.	✓
General	2010 Exhibition	Concerns that long term residents will be displaced.	✓
General	2010 Exhibition	Concerned that installation of fencing could reduce property prices and prevent access to the Reserves.	✓

**APPENDIX F      Submissions Report, Draft Plans Of Management, March 2014**



# **Submissions Report**

## **DRAFT PLANS OF MANAGEMENT**

**Massy Greene Holiday Park  
Terrace Reserve Holiday Park  
Ferry Reserve Holiday Park  
Brunswick Heads Foreshore Public Reserves**

**March 2014**

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## **1 Background**

At the Board Meeting 27 November 2013, the Board resolved to recommend that the Minister approve the public exhibition of the Draft Plans of Management for the Brunswick Heads Holiday Parks and Foreshore Reserves.

The Minister for Trade and Investment authorised the exhibition of the draft plans on 17 December 2013.

### **1.1 Exhibition Requirements under the Crown Lands Act and Reserve Trust Handbook**

The draft plan of management must be exhibited for at least 28 days and notified in the Government Gazette and a newspaper with local or state circulation, to give people the opportunity to submit their views on its form and content.

The Trust elected to place the draft Plans of Management on exhibition for two months to provide the community and visitors with adequate time to review the plans and make submissions.

### **1.2 Advertising**

Notices advising of the public exhibition of the plans of management were placed in the following publications:

- NSW Government Gazette 20 December 2013
- Northern Star Saturday 21 December 2013
- Byron Shire Echo 31 December 2013
- Byron Shire News 26 December 2013

### **1.3 Media Releases**

Media releases were provided as follows:

- Notification of commencement of public exhibition 31 December 2013
- Notification of Information sessions 9 January 2014

### **1.4 NSWCHPT Website**

- Draft Plans of Management were placed on the NSWCHPT web-site via a link to the NCHP web-site on 21 December 2013.
- The following information was included on the web-site:
  - Draft Plans of Management for each holiday park and one for the combined community reserves
  - Trust responses to Byron Shire Council enquiries and media coverage
  - Frequently asked questions and information

### **1.5 Stakeholder Notification**

- Individual letters were sent to major stakeholders advising them of the exhibition of the documents. The letter contained information on the Trust and advised the timing of public



information sessions. Stakeholders were advised of the process for making submissions and seeking further information from the Trust.

### **1.6 Public Information Sessions**

- Public Information sessions were held on the 15<sup>th</sup> of January and 1<sup>st</sup> of February. The information sessions were aligned with community events to ensure high participation rates. Both information sessions were well attended with media reporting hundreds in attendance.
- Parts of the public information sessions were recorded by the Echo Newspaper with coverage released on their web-site. An interview of Jim Bolger, General Manager North Coast Holiday Parks, was also performed and included on the web-site.

### **1.7 Byron Shire Council Briefing**

- A briefing was provided to Byron Shire Council on 30 January 2014. This briefing allowed councillors and senior staff to ask questions regarding content to enable an informed submission to be prepared.

### **1.8 Briefing – Don Page MP**

- A meeting was held with the Local Member and Local Government Minister Don Page. The Minister was provided with an update on the progress of the exhibition and an overview of where the Trust was proceeding to completion.

## **2 Media Coverage and Publicity**

### **2.1 Television**

- Television coverage was performed by the NBN network. This included filming of the reserves and draft concept plans, and an interview with the General Manager North Coast Holiday Parks.

### **2.2 Print Media**

- There was significant media coverage by the Byron Shire Echo with a general negative theme regarding the draft plans. Significant misinformation was included in both articles and letters to the editor. The Trust responded to articles but not all were printed. All responses were included on the Trust web-site.
- Articles were also included in other local papers and the Sydney Morning Herald.

## **3 NSW CHPT Communication Strategy**

The NSWCHPT Communications Strategy for Brunswick Heads was adopted by the Trust Board on 27 November 2013. The strategy identified the major stakeholders and issues which were expected to arise during the exhibition period. A number of consultation strategies were included to ensure that the local community and visitors to the area were able to view the plans and make comment.

These included public information sessions, media releases, meeting with Council, letters to major stakeholders and interviews with the media. The Trust web-site was continually updated to provide responses to the media articles and misinformation that was being encouraged by sections of the community and media.

#### 4 Submissions Data

A total of 158 submissions were received raising 1425 individual issues . The issues raised have been summarised into 173 categories.

There is some duplication of issues across different reserves. It is noted that several issue categories apply to two or more reserves. As each Plan of Management is a stand alone document, there has been some duplication of issue categories resulting in a total of 206 issues being recorded. The breakdown of issues raised by reserve is provided below, including general issues.

Reserve	Number of Issues Raised
Foreshore Reserves	52
Terrace Reserve HP	48
Massy Greene HP	44
Ferry Reserve HP	27
General Submissions	35
<b>Total</b>	<b>206</b>

##### 4.1 Petitions

Two petitions were received.

##### **Foreshore Protection Group.**

The petition comprised 156 signatures from people who *support the retention and maintenance of our grassed parklands and do not support the construction of NCHP's proposed timber deck on the riverbank in Banner Park or the proposed 2m wide all weather pathways through our public parklands.* It also include 151 signatures from people who *support Byron Shire Council's proposed Caravan Park Boundaries detailed in August 2012 Licence agreements and do not support the proposed boundaries in NCHP draft POMs.*

These matters are addressed in the submissions assessment.

##### **Mr Jim Dodd (Change.org petition )**

The petition had 2095 supporters as at 25 February 2014. The petition included the following objections

*We strongly object to and reject NSWCHPT and NCHP's plans because they:*

1. Refuse to re-instate the foreshore walkway along Simpson’s Creek adjoining the Terrace caravan park. Management has allowed this to be blocked/barricaded by caravans and 12 moveable dwellings that could all be relocated within the park. Instead they want to take the whole length of the foreshore into the caravan park and fence it off for the exclusive use of their clientele.
2. Plan to expand caravan park activities onto the foreshore land at Ferry Reserve and restrict access to the public boat ramp.
3. Refuse to get off illegally occupied land at Massy Greene caravan park, zoned for Maritime Purposes for use by the wider community. This is prime foreshore land adjoining the Brunswick Boat Harbour.
4. Refuse to develop their caravan parks within the boundaries set by our local Council. Those boundaries have been set to keep the foreshores in the public interest and not for the exclusive use of caravan park clientele.

These matters are addressed in the submissions assessment.

## 5 Assessment of Submissions

A detailed summary of submissions received is provided in Appendix 1. For each issue raised, the submissions summary :

- Includes a specific reference number
- Identifies whether the submission relates to a specific reserve or is a general comment
- Identifies the relevant issue category
- Provides a summary of the issue
- Provides the Trust’s comments
- Provides a recommendation for amendment of the draft Plans of Management. If no amendment is proposed, a recommendation of “No Change” is provided.

### 5.1 Issues Raised in General Submissions

Thirty-five general issues were raised in relation to the Trust’s proposals across the draft Plans of Management. Five recommendations are made with respect to the general issues raised.

Where the Trust has recommended a change, the issue is highlighted in the following table. Issues that are not highlighted are those where the recommendation is that no change is made to the exhibited plans.

Where a recommendation is indicated for a particular issue, it does not necessarily mean that the claim or request in the submission is supported.

Issue Number	Issue Categories – General	Number of Submissions
17	Comply with Council licence conditions and regulations	40
43	Maintain public access to and along the foreshore	35
140	Retain 30% of sites for permanent residents	27
75	No restriction on public access though holiday parks	12
59	No fencing of holiday parks or reserves	9
92	Privatisation of foreshore	7
48	Maintenance and presentation of foreshore reserves	6
38	Lack of pedestrian connectivity	4
41	Locate pathways away from foreshore	4
97	Provide additional car parking within holiday parks	3
132	Restrict access for large vans and fifth wheelers	3

16	Community space within holiday parks	2
21	Protect and enhance Aboriginal cultural values	2
31	General Criticism of the Trust and its proposals	2
86	Overdevelopment	2
94	Protection of Vegetation in Reserves	2
96	Provide accessible pathways	2
109	Provide sullage for sites for wastewater disposal	2
145	Safety Audit Out of Date	2
158	Support upgrade of Banner Park	2
12	Provide buffer zones and setbacks from boundaries	1
55	No cabins on the foreshore	1
67	No pathways in reserves	1
89	POM should not authorise leases and licences	1
93	Protection and enhancement of sensitive environments	1
32	General Support	1
35	Improve lighting in reserves	1
49	Make provision for Primitive Camping	1
88	Petition in support of "Pirate Ship" hire business	1
134	Restrict number of cabins	1
143	Retain natural areas for passive recreation	1
146	Screen and landscape holiday park boundaries	1
151	Support foreshore pathways	1
156	Support reduction in cabin numbers from 2010 draft plans	1
159	Support application of sustainability measures	1

## 5.2 Issues Raised in Submissions for Terrace Reserve Holiday Park

Forty-eight issues were raised in relation to the Trust's proposals for the draft Plan of Management for Terrace Reserve. Nine recommendations are made with respect to the issues raised.

Issue Number	Issue Categories – Terrace Reserve Holiday Park	Number of Submissions
108	Provide public access to and along the foreshore at Terrace Reserve	78
47	Maintain public access to the car park and footbridge at the entry to Terrace Reserve Holiday Park	33
52	Natural attrition for vacating long term sites at Terrace	29
59	No fencing of holiday parks or reserves	29
131	Restore Simpsons Creek Foreshore	29
17	Comply with Council licence conditions and regulations	24
125	Remove structures from Terrace Reserve foreshore sites	22
22	Demolish and rebuild main amenities in southern precinct away from private residences	15
75	No restriction on public access through holiday parks	14
136	Restrict use of Terrace Southern Precinct to soft camping during Christmas and Easter only	14
94	Protection of Vegetation in Reserves	13
99	Provide additional parking within Terrace Reserve holiday park	10
110	Provide traffic calming at junction of The Terrace and Nana Street	9

117	Relocate Terrace Southern Camp Kitchen	9
149	Soft camping only in Terrace Southern Precinct	8
40	Locate new relocatable amenities in Terrace Southern precinct further from residences	6
140	Retain 30% of sites for permanent residents	6
132	Restrict access for large vans and fifth wheelers	5
173	Widen the Brunswick Terrace road reserve	5
19	Consult on Terrace Reserve Fence	4
73	No reduction in number of sites at TRHP	4
82	Object to Proposed Waste Compound at Terrace Reserve	4
135	Restrict use of Terrace Southern Precinct to soft camping	3
166	Use land made available by removal of encroachments on the Terrace for parking, bike track etc	3
9	Allow small groups and families only at Terrace Reserve HP	2
12	Provide buffer zones and setbacks from boundaries	2
30	Formalise existing creek / beach access near site 122 Terrace Reserve	2
87	Park entry /exit Terrace	2
118	Remove amenities blocks from Terrace Reserve Southern precinct	2
134	Restrict number of cabins	2
20	Convert disused Simpsons Creek Park tennis courts for another public use or revegetation	1
62	No increase to size of sites at Terrace Reserve	1
71	No reduction in number of amenities buildings at TRHP	1
74	No removal of Holiday Vans	1
81	Object to development of Terrace Reserve Southern precinct on environmental grounds	1
84	Oppose upgrade of Simpsons Creek beach access	1
91	Private Matter	1
116	Relocate Terrace Reserve residence and reception	1
127	Renovate Terrace Reserve Managers residence	1
137	Restrict use of Terrace Southern Precinct to soft camping during Christmas and Easter, and NSW public School holidays only	1
151	Support foreshore pathways	1
153	Support increase size of sites at Terrace Reserve	1
159	Support application of sustainability measures	1
161	The impact on the Cape Byron Marine Park has not been assessed	1
164	Two additional cabins at Terrace Reserve are accessible	1
168	Use of southern precinct at Terrace Reserve	1
170	Use southern precinct at Terrace Reserve Holiday Park for public recreation	1
172	Widen foreshore pathways	1

### 5.3 Issues Raised in Submissions for Massy Greene Holiday Park

Forty-four issues were raised in relation to the Trust's proposals for the draft Plan of Management for Massy Greene. Six recommendations are made with respect to the issues raised.

Issue Number	Issue Categories – Massy Greene Holiday Park	Number of Submissions
85	Oppose use of all or part of Lot 7005 at Massy Greene for Holiday Park Purposes	47
1	Access and parking Boat Harbour foreshore	27
56	No cabins on the foreshore at Massy Greene	18
72	No reduction in number of sites at Massy Greene	15
17	Comply with Council licence conditions and regulations	13
113	Relocate Massy Greene sewer pump station	13
98	Provide additional parking within Massy Greene holiday park	11
29	Extend hailstone pathway around eastern end of Massy Greene	10
70	No power heads on the foreshore.	10
77	No Two Storey Buildings	8
101	Provide community facilities in Boat Harbour	7
45	Maintain public access to and along the foreshore at Massy Greene	6
140	Retain 30% of sites for permanent residents	6
111	Redesign western end of holiday park and boat harbour precinct to provide additional public open space, parking, public toilets, boat/kayak storage, and public pathway	5
114	Relocate Massy Greene waste storage area	4
4	Additional public parking at Massey	3
33	Improve access and community facilities in Boat Harbour	3
58	No fencing of foreshore sites at Massy Greene	2
65	No new internal road for waterfront sites at Massy Greene	2
66	No on site Managers residence at Massy Greene	2
74	No removal of Holiday Vans	2
86	Overdevelopment	2
90	Prefer western entry option Massy Greene	2
142	Retain eastern entry to Massy Greene	2
7	Allow boats on the foreshore	1
10	Bin storage area must be set back 10m from road	1
11	Boundary fencing at Massy Greene	1
12	Provide buffer zones and setbacks from boundaries	1
14	Camp Kitchen/BBQ facility closer to sites at Massy Greene	1
15	Clarify plans for boat harbour precinct	1
39	Less cabins on the foreshore at Massy Greene	1
50	Massy-Greene was bequeathed for community use	1
75	No restriction on public access though holiday parks	1
76	No structures within 10 of foreshore including slabs and BBQs	1
79	No upgrade of Massy Greene HP	1
120	Remove holiday vans	1
121	Remove infrastructure from road reserve at Massy Greene	1
132	Restrict access for large vans and fifth wheelers	1
134	Restrict number of cabins	1

139	Retain 3 amenities blocks at Massy Greene	1
141	Retain eastern entry and exit in addition to new western intersection and Massy Greene	1
150	Spelling of Massy Greene	1
162	Too much pavement	1
165	Use foreshore sites for camping only	1

#### 5.4 Issues Raised in Submissions for Ferry Reserve Holiday Park

Twenty-seven issues were raised in relation to the Trust's proposals for the draft Plan of Management for Ferry Reserve. Seven recommendations are made with respect to the issues raised.

Issue Number	Issue Categories – Ferry Reserve Holiday Park	Number of Submissions
46	Maintain public access to Ferry Reserve boat ramp	34
119	Remove foreshore sites and internal road from Ferry Reserve Holiday Park and provide for public access and recreation	29
169	Use of the former Fins Restaurant building	15
112	Relocate Ferry Reserve sewer pump station	13
5	Address foreshore bank erosion at Ferry Reserve	10
155	Support provision of accessible sites and facilities at Ferry Reserve	10
133	Restrict access to Riverside Crescent foreshore	6
94	Protection of Vegetation in Reserves	4
13	Build accessibility into Ferry Reserve Recreational area	3
54	No Bowling Green in Ferry Reserve	3
132	Restrict access for large vans and fifth wheelers	3
140	Retain 30% of sites for permanent residents	3
69	No pool	2
104	Provide path along Ferry Reserve foreshore	2
106	Provide primitive camping on Old Pacific Highway site	2
122	Remove power heads from foreshore sites at Ferry Reserve	2
148	Soft camping on Ferry foreshore sites	2
160	The 4 proposed new cabins all be accessible cabins.	2
23	Develop additional short term sites on old Pacific Highway	1
28	Exclude holiday park from land zoned E2 Environmental Conservation	1
42	Maintain emergency access through Ferry Reserve for flood evacuation	1
44	Maintain public access to and along the foreshore at Ferry Reserve	1
51	Move sites back from the foreshore at Ferry Reserve	1
83	Open playing fields at Ferry Reserve. No recreation area	1
89	POM should not authorise leases and licences	1
95	Provide a car wash facility	1
107	Provide public access through Ferry Reserve Holiday Park	1

## 5.5 Issues Raised Submissions for Brunswick Heads Foreshore Public Reserves

Fifty-two issues were raised in relation to the Trust's proposals for the draft Plan of Management for the Foreshore Public Reserves. Twenty-one recommendations are made with respect to the issues raised.

Issue Number	Issue Category	Number of Submissions
53	No boardwalk and deck in Banner Park	35
57	No car park at Torakina Park	29
144	Retain Terrace Park playground in its current location	27
36	Improvements to Memorial Park	21
37	Keep Torakina as natural as possible	21
126	Renovate Terrace Park Amenities and Facilities	21
128	Renovate Torakina Amenities	19
24	Do not expand the Banner Park playground	18
64	No lighting or security cameras	18
67	No pathways in reserves	18
94	Protection of Vegetation in Reserves	18
6	Address foreshore erosion and sea wall problems	17
18	Construct pathways from natural materials	15
48	Maintenance and presentation of foreshore reserves	13
123	Remove Simpsons Creek Park tennis courts and revegetate	13
43	Maintain public access to and along the foreshore	12
34	Improve accessibility to Simpsons Creek via stairs and ramps	11
68	No playground in Torakina	11
138	Restrict vehicle access to Simpsons Creek Park	11
41	Locate pathways away from foreshore	10
103	Provide kayak / canoe launching facility at Simpsons Creek Park	10
129	Replace missing Norfolk pines in Banner Park	8
78	No upgrade of foreshore public reserves	7
60	No Foreshore Pathway Mona Lane Foreshore	4
105	Provide play / sport equipment in Torakina Park	4
130	Replace Torakina amenities	4
145	Safety Audit Out of Date	4
157	Support Torakina Foreshore pathway	4
3	Additional parking at Torakina	3
100	Provide all abilities playground	3
152	Support habitat restoration plan at Torakina Reserve	3
2	Additional lighting in Banner Park	2
20	Convert disused Simpsons Creek Park tennis courts for another public use or revegetation	2
25	Do not replace missing Norfolk Pines Banner Park	2
38	Lack of pedestrian connectivity	2
63	No kiosk at Torakina Park	2
102	Provide drinking fountains and bike racks in reserves	2
147	Sculpture walk for foreshore reserves	2
154	Support proposed boardwalk and Deck at Banner Park	2
158	Support upgrade of Banner Park	2
8	Allow public art on the Torakina Amenities	1



26	Ensure appropriate emergency access to Torakina Beach and southern rock wall	1
27	Ensure appropriate pedestrian access to Torakina Beach and southern rock wall	1
35	Improve lighting in reserves	1
61	No hard surfacing around playground	1
80	NSW CHPT take over responsibility for management and maintenance of the Simpsons Creek footbridge	1
96	Provide accessible pathways	1
115	Relocate Pirate boat and Jetty	1
124	Remove storage shed from Banner Park	1
163	Tourist coach parking Simpsons Creek Reserve	1
167	Use natural rock paving and stepping stones for pathways	1
171	Water theme playground	1

## 6 Recommendations

Reserve	Issue No.	Issue Category	Comment	Recommendation
TRHP	20	Convert disused Simpsons Creek Park tennis courts for another public use or revegetation	Larger sites will provide more room for on site parking of guests vehicles than currently exists. Also number of sites reducing from 198 to 167. The removal of 18 sites from the southern precinct to remedy a road encroachment will provide the capacity for 60 additional public car parking spaces to be available on The Terrace road reserve. The disused tennis courts may be an option for overflow parking, however other submissions support public recreation / revegetation of this space.	Ensure that the POM authorises the use of the disused tennis courts to the south of the TRHP for car parking, revegetation and other public recreation uses pending the Trusts future consideration of the best use of this space
TRHP	22	Demolish and rebuild main amenities in southern precinct away from private residences	The existing main amenities is structurally sound and replacement in another location would cost in the order of \$500,000. Measures to screen the building and reduce amenity impacts on residents can be included in the POM	Include measures to screen the main amenities in Terrace Reserve Southern Precinct from residents and reduce amenity impacts
TRHP	30	Formalise existing creek / beach access near site 122 Terrace Reserve	The POM could authorise the investigation of formalising the existing canoe / kayak launching facility near site 122 Simpsons Creek in conjunction with the foreshore restoration project	The POM authorise the investigation of formalising the existing canoe / kayak launching facility near site 122 Simpsons Creek in conjunction with the foreshore restoration project
TRHP	40	Locate new relocatable amenities in Terrace Southern precinct further from residences	The amenities could be relocated to the southern most part of the site which would have some visual screening from existing vegetation. The change would result in the net loss of 1-2 sites due to the minimum buffer required between the building and sites, and would require extension of water sewer and power	Locate the new southern relocatable amenities building in the southernmost section of the holiday park

Version 2 – Post Audit

TRHP	47	Maintain public access to the car park and footbridge at the entry to Terrace Reserve Holiday Park	There will be no change to the current public access to either the footbridge or the adjacent car park. The car park will continue to be part of the holiday park allocation of visitor parking while also having no restriction on use by the general public. No changes to this arrangement are proposed and the POM specifically authorises the use of this area for both public and visitor parking. The trust is proposing to construct a footpath from the town side of the footbridge past the Terrace Park playground to the crossing at The Terrace. This path will provide a safer alternative route for pedestrians wanting to avoid walking through the car park	Provide additional emphasis in the POM document and drawings to clearly indicate that the car park is available for parking by the general public and pedestrian access to and from the footbridge
TRHP	59	No fencing of holiday parks or reserves	Measures such as landscaping and continued use of security cameras are proposed to improve security. Access restrictions will only occur if and when it becomes necessary to fence to park for safety or security reasons - as a last resort. Continued unfettered access for the general public to Simpsons Creek via the holiday park can not be guaranteed. The Trust could relax restrictions while retaining the ability to impose restrictions if required.	Provide a landscape design to show the intended treatment of the boundary that will be provided in preference to fencing. More clearly describe measures other than fencing that will be implemented in preference to fencing. Specify in the POM that fencing will only occur as a last resort. Modify access protocol to relax restrictions and allow public access for longer hours throughout the entire year while retaining the ability to apply reasonable restrictions if required.
TRHP	82	Object to Proposed Waste Compound at Terrace Reserve	The proposed relocation of the waste storage area will impact guests who have not previously been affected. An alternative location at the rear of the central section of the park adjacent to the primary school bins has been identified that will not impact neighbours.	Investigate relocation of waste storage / collection area to the central precinct with access directly from Booyun Street. Retain current waste storage / collection area if Booyun St option can not be implemented.

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TRHP	108	Provide public access to and along the foreshore at Terrace Reserve	The Trust has considered the impact that creation of a foreshore access corridor would have with regard to park operations, site constraints, significant vegetation, and permanent residents. The Trust has made provision for ongoing public access through the holiday park as currently exists, subject to reasonable conditions. Conditional access through TRHP and to Simpsons Creek is provided subject to reasonable conditions. Those conditions are likely to be relaxed from those contained in the draft POM	Specify in the POM that fencing will only occur as a last resort. Modify access protocol to relax restrictions and allow public access for longer hours throughout the entire year while retaining the ability to apply reasonable restrictions if required.
MGHP	1	Access and parking Boat Harbour foreshore	The larger sites will provide more room for on site parking of guests vehicles than currently exists. Also number of sites reducing from 133 to 103. Additional visitor car parking inside park to achieve compliance with Regs. The proposed upgrade will improve public access to the foreshore and not limit access for emergency vehicles	Provide additional car parking capacity in the boat harbour by not constructing a formal car park to the relevant standards and leaving the space available as an open area with no marked spaces.
MGHP	7	Allow boats on the foreshore	The Trust does not propose to change anything regarding the mooring of boats on the beach.	Specifically authorise temporary mooring or anchoring of boats on the foreshore outside the swimming area.
MGHP	11	Boundary fencing at Massy Greene	A timber paling fence is proposed along the boundary of the park commencing at the waste storage area, then along the boundary with old Pacific Highway and around the Managers residence. In all other areas, low rail fencing is proposed. The drawings can be modified to more clearly show the location and style of proposed fencing.	Modify the Massy Greene drawings to more clearly show the location and style of proposed fencing.

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MGHP	29	Extend hailstone pathway around eastern end of Massy Greene	This area is road reserve under the control of Council. The extension of the hailstone pathway would require Council approval, however could be undertaken as part of the rehabilitation of the camping sites that are to be vacated at the eastern end of the park	Investigate with Council the provision of a hailstone pathway in the road reserve at the eastern end of Massy Greene as part of the rehabilitation of the camp site area that is to be vacated
MGHP	58	No fencing of foreshore sites at Massy Greene	The draft POM proposes replacement of existing low post and rail fencing with similar fencing in order to delineate the extent of sites and the separation between holiday park and the foreshore public accesses.	More clearly identify and describe the proposed low fencing along the foreshore sites at Massy Greene
MGHP	111	Redesign western end of holiday park and boat harbour precinct to provide additional public open space, parking, public toilets, boat/kayak storage, and public pathway	The area in question is currently part of the operational area of the licenced holiday park. The trust has reviewed the proposed plans and can accommodate the provision of a public pedestrian access through the holiday park via a redesign of the western precinct. This will achieve separation between pedestrians and vehicles accessing the foreshore while providing an important link between the boat harbour and the foreshore in front of the holiday park.	Modify the design of the western precinct at Massy Greene to provide a separate pedestrian access from the Boat Harbour to the foreshore inside the operational boundary of the park, by revising the layout and design of cabins and sites.
General	21	Cultural heritage	Searches of the Aboriginal Heritage Information Management System (AHIMS) sites do not indicate the presence of Aboriginal objects and sites. However anecdotal evidence has been presented via submissions and the POM will be modified to include provisions addressing the protection of aboriginal cultural values and objects.	Modify POMs to include provisions addressing the protection of aboriginal cultural values and objects.
FRHP	5	Address foreshore bank erosion at Ferry Reserve	The POM proposes that the Trust investigate and implement strategies to address erosion and protect and restore the foreshore, and has allocated \$200,000 towards this project in the forward capital works program.	More clearly define the proposed foreshore restoration program including concept drawings from the 2007 Geolink study, and the allocation of funds in the forward capital works program.

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FRHP	13	Build accessibility into Ferry Reserve Recreational area	This is a matter for consideration in the detailed design stage, however provision can be made in the POM to facilitate this.	Include provision for the swimming pool and recreation area design at Ferry reserve to include accessibility as a key design consideration
FRHP	44	Maintain public access to and along the foreshore at Ferry Reserve	Permanent public access is authorised in the POM. Operational issue - however all requests can be complied with. Better location of lighting and picnic tables can be provided to create a better use of the space and more inviting public thoroughfare	Amend the plans for the foreshore management and access precinct at Ferry Reserve to show relocation/upgrade of lighting and picnic tables to provide better use of the space and a more inviting public thoroughfare. Create a 1 metre landscaped corridor on the park side of the boundary to provide an additional setback to ensure campers do not intrude outside the park
FRHP	46	Maintain public access to Ferry Reserve boat ramp	Ongoing public access to the boat ramp is specifically authorised in the draft POM, subject to a protocol that is required to ensure that the safety, security and welfare of guests and other users is protected. The existing ramp has very limited capacity, and can not meet the demand for boat launching in Brunswick Heads.	Relax restrictions on public access while retaining the ability to apply reasonable conditions of use if required. Consider options for contributing to the upgrade of the Sonny Coles boat ramp.
FRHP	94	Protection of Vegetation in Reserves	Vegetation management within the reserves and holiday parks will continue to be undertaken in accordance with Council's Tree Preservation Order and the Native Vegetation Act, informed by the Vegetation Management Plan appended to the POM	The trust will continue to undertake seed collection, compensatory planting and bush regeneration activities to offset any impact from the removal or lopping of native vegetation for safety reasons
FRHP	95	Provide a car wash facility	Provision for a wash bay could be incorporated into the back of house storage/maintenance areas	Investigate potential to locate a car wash bay near the maintenance shed

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FRHP	169	Use of the former Fins Restaurant building	The building can only be used for a purpose that is authorised by the POM. There are no plans to operate group accommodation for backpackers and the POM can specifically prohibit that activity. Group accommodation is intended to be used by schools and other groups and will be sold as rooms, not individual beds. The wording in the recommendation is taken from the definition of backpacker accommodation in the NSW Standard LEP Instrument	Specifically prohibit the use of the Fins Building for backpacker accommodation by prohibiting the provision of accommodation on a bed or dormitory-style basis (rather than by room).
Foreshore Reserves	2	Additional lighting in Banner Park	The trust understands that the Woodchop Committee has been gifted lighting that may be suitable for permanent lighting for Banner Park. The impact on neighbouring properties and on the marine park would need to be considered and assessed in consultation with relevant agencies, however provision should be made in the POM for installation of suitable permanent lighting to be undertaken given that the lighting is available free of charge.	Make provision in the POM to specifically authorised installation of permanent lighting in Banner park at the discretion of the trust subject to relevant approval requirements
Foreshore Reserves	8	Allow public art on the Torakina Amenities	The trust will consider allowing placement of artwork on the Torakina amenities, subject to a number of conditions being met relating to the consistency with the natural them adopted for the reserve, and the proponents undertaking to install, protect and maintain and replace artwork. The Trust has significant concerns about vandalism, and the artists would need to understand and agree that the artwork is placed in the public domain at their own risk.	The trust will consider allowing placement of public artwork on the Torakina amenities, subject to a number of conditions being met by the proponents.

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Foreshore Reserves	24	Do not expand the Banner Park playground	A large playground is proposed due to the high level of use of the reserve by families with younger children. The final design will be determined in consultation with the local school and pre-school. While some play equipment may be accessible for children with limited abilities, a complete all-abilities playground is not proposed	Consult with the local school and pre-school on playground design. Investigate incorporating play equipment that can be used by children with limited abilities
Foreshore Reserves	25	Do not replace missing Norfolk Pines Banner Park	Norfolks are an introduced species. There is no justification from an environmental or planning perspective to plant replacement trees. The marginal improvement in visual amenity that could be achieved over time does not warrant the significant impact that it would have on the carnival, which has been operating continuously over the xmas -new year period since 1956 and is part of the fabric of the town.	Amend the plan for Banner park to delete the replacement of missing Norfolk Pines from the foreshore.
Foreshore Reserves	26	Ensure appropriate emergency access to Torakina Beach and southern rock wall	Relocation of the gate is proposed to provide a continuous pedestrian thoroughfare to the southern rock wall and Torakina beach. The Trusts view is that this can occur without compromising access or safety. Relocation of the gate would only occur with the agreement of Marine Rescue NSW, Crown Lands and emergency services.	The POM clarifies that the relocation of the emergency access gate to the Brunswick River southern rock wall only occur with the concurrence of Marine Rescue NSW, DPI Crown Lands and emergency services.
Foreshore Reserves	27	Ensure appropriate pedestrian access to Torakina Beach and southern rock wall	The car park design provides for a pathway delineated along the northern side of the Torakina beach car park to the beach access and southern rock wall. This is not clearly shown in the drawings.	Amend plans to clearly show the proposed pathway leading from Torakina reserve to the beach access and south wall
Foreshore Reserves	34	Improve accessibility to Simpsons Creek via stairs and ramps	There is an existing ramp access to Simpsons Creek. An upgrade could be considered at design stage for Banner Park and Simpsons Creek upgrade projects. Oyster growth is a concern - so any design would need to take that issue into account along with liability issues	Investigate options for upgrade of ramp and stair access points to Simpsons creek to improve accessibility for people with limited abilities



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Foreshore Reserves	41	Locate pathways away from foreshore	Paths are designed to provide universal access to reserves for people of all abilities. They are also provided on commonly used pedestrian thoroughfares where grass could not withstand the amount of foot traffic. The proposed pathway locations address both of these design criteria. Formal paths are required in Banner Park and Torakina Park to achieve this outcome, however paths may not be required initially in Terrace Park as there is reasonable grass cover and gentle grades.	The POM authorise the Trust to monitor the accessibility of Terrace Park and install paths if considered necessary to provide access for people with limited abilities, or to provide a surface capable of withstanding the amount of foot traffic.
Foreshore Reserves	60	No Foreshore Pathway Mona Lane Foreshore / Improvements to Memorial Park	Not on land under the control of the trust. Was included in POM to show a concept for the overall network of public pathways to give context to the trusts proposals	Delete drawings and concepts for all reserves not managed by the Trust
Foreshore Reserves	64	No lighting or security cameras	There is no specific plan to install additional lighting Installation of lighting will occur if required for safety and security. The location of lighting would have to consider the impact on residential properties and the marine park. Consultation with relevant agencies would be required.	Installation of lighting if required to be undertaken in consultation with relevant agencies having regard to potential impacts on the Marine park and residential properties
Foreshore Reserves	78	No upgrade of foreshore public reserves	No coffee shops or similar are proposed. The proposed upgrades provides universal access to picnic tables, seating, and the foreshore including for people with limited abilities while minimising the impact on vegetation. The designs compliment the natural setting. Other improvements such as work on amenities, BBQs and park furniture are meeting the basic needs of users of the reserves	Specifically exclude or prohibit commercial activities such as café's kiosks or restaurants from being undertaken in the foreshore reserves
Foreshore Reserves	102	Provide drinking fountains and bike racks in reserves	Will be addressed in detailed design	Include provision for well designed drinking fountains / water stations and bike racks in foreshore reserves POM

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Foreshore Reserves	103	Provide kayak / canoe launching facility at Simpsons Creek Park	The foreshore area is environmentally sensitive and agencies may be reluctant to approve a new launching facility. However, this is a matter that can be considered in the design of the foreshore restoration project.	The POM authorise the investigation of a new canoe/kayak launching facility at Simpsons Creek park in conjunction with the foreshore restoration project
Foreshore Reserves	115	Relocate Pirate boat and Jetty	The location of the pirate boat (or any similar activity) will be determined in consultation with the Marine Park Authority and Fisheries when the matter of the licence is reviewed by the Trust	Amend the draft POM to indicate that the location of the any hire businesses will be determined in consultation with the Marine Park Authority and Fisheries when the matter of the licence is reviewed by the Trust
Foreshore Reserves	126	Renovate Terrace Park Amenities and Facilities	The POMS provides for an upgrade to occur. Feedback suggests a preference to separate change rooms rather than using showers or toilets for changing. Provision of additional changing rooms and showers requires further consideration	Consider the addition of change rooms and shower to the Terrace Park amenities
Foreshore Reserves	128	Renovate Torakina Amenities	The design provided in the draft POM is a concept design only. The trust will review contemporary designs that are in keeping with the natural setting and meet the functional requirements of the users of the reserves	Review the design of the Torakina amenities to ensure it is keeping with the natural setting and meet the functional requirements of the users of the reserves
Foreshore Reserves	130	Replace Torakina amenities	Submissions support renovation of the amenities in favour of a new building. The trust will authorise replacement and renovation and undertake further investigations to determine the best option.	The POM authorise the renovation or replacement of the Torakina amenities at the discretion of the trust following a review of the cost of renovation compared to the cost of replacement for revised designs.
Foreshore Reserves	144	Retain Terrace Park playground in its current location	The layout and location of the playground accommodates existing annual events. The playground can be kept in its current location. Active management of tree health to ensure safety will continue.	Keep the playground in its existing location to take advantage of natural shade and maximise open space for recreation and community events

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Foreshore Reserves	145	Safety Audit Out of Date	Advice from NSW Police confirms that the findings and recommendations of the safety audit are still relevant.	Provide a commitment that any issues that arise from any future community safety audit will be considered
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## GLOSSARY

The following definitions have been reproduced from the *Local Government (Manufactured Homes, Caravan Park and Moveable Dwellings) Regulation 2005* to provide clarification with respect to the meaning of words and phrases used in this Plan of Management.

**camp site** means an area of land within a camping ground on which a campervan or tent may be installed or, in the case of a primitive camping ground, on which a campervan, tent or caravan may be installed, and that is designated as a camp site by the approval for the camping ground. – (a campsite must be at least 40 square metres in area if a separate parking space is provided and a minimum area of 50 square metres in any other case).

**campervan** means a moveable dwelling (other than a caravan) that is designed so as to be registrable as a motor vehicle under the *Road Transport (Vehicle Registration) Act 1997*, and includes a camper trailer.

**caravan** means a moveable dwelling that is designed so as to be registrable as a trailer under the *Road Transport (Vehicle Registration) Act 1997*, but does not include a camper trailer.

**community amenity** means a space or facility that is required (by this Regulation or otherwise) to be provided within a manufactured home estate, caravan park or camping ground that is used or intended to be used:

- (a) for the purposes of administration or servicing of that manufactured home estate, caravan park or camping ground, or
- (b) for recreational or other communal purposes serving the interests of the occupiers of manufactured homes within a manufactured home estate or moveable dwellings within a caravan park or camping ground, but does not include any car parking space.

**dwelling site:**

- (a) in relation to a manufactured home estate—means an area of land within the manufactured home estate that is designated as a dwelling site by the approval for the manufactured home estate, and
- (b) in relation to a caravan park—means an area of land within the caravan park on which a moveable dwelling may be installed and that is designated as a dwelling site by the approval for the caravan park.

**holiday van** means a moveable dwelling (other than a tent) that is or usually is continuously located on a short-term site and used primarily by its owner for occasional occupancy for holiday purposes.

**installation** means:

- (a) in relation to a manufactured home or a relocatable home—the process of connecting together the major sections of the manufactured home or relocatable home, and any
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associated structures forming part of the manufactured home or relocatable home, and attaching them to footings, or

- (b) in relation to an associated structure—the process of constructing or assembling the components of the associated structure, and (if appropriate) attaching them to footings, and includes the connection of gas, electricity, telephone, water, sewerage and drainage services.

***long-term site*** means a dwelling site that is specified in the approval for a caravan park as being a long-term site. – (a long term site must be at least 80 square metres in area)

***relocatable home*** means:

- (a) a manufactured home, or
- (b) any other moveable dwelling (whether or not self-contained) that comprises one or more major sections, including any associated structure that forms part of the dwelling,  
but does not include a tent, caravan or campervan or any moveable dwelling that is capable of being registered under the *Road Transport (Vehicle Registration) Act 1997*.

***self-contained moveable dwelling*** means a moveable dwelling that contains its own shower and toilet facilities.

***short-term site*** means a dwelling site on which a moveable dwelling that is ordinarily used for holiday purposes may be installed and that is specified in the approval for a caravan park as being a short-term site. – (a short-term site must be at least 65 square metres in area)

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